

MULTI UNIT DEVELOPMENT (STRATA)

CLIENT: TATE
STATUS:DA ISSUE
LOT No: 19/14 DP No: 3259
STREET NAME: 267 VICTORIA STREET, TAREE
CWC JOB #: A5455

SHEET #	SHEET NAME	REVISION
0	TITLE	F
1	LEGENDS	F
2	SITE PLAN - EXISTING/DEMO	F
3	SITE PLAN - PROPOSED	F
4	SITE PLAN - S68 & S138 PLAN	F
5	SITE PLAN - DA STORMWATER PLAN	F
6	FLOOR PLAN GROUND	F
7	FLOOR PLAN FIRST FLOOR	F
8	FLOOR PLAN TOP FLOOR	F
9	ELEVATIONS	F
10	ELEVATIONS	F
11	SECTION	F
12	GLAZING	F
13	ROOF PLAN	F
14	INDICATIVE LANDSCAPE PLAN	F
15	DRAFT SUBDIVISION PLAN - STRATA	F
16	SHADOWS	F
17	BIRDS EYE & PERSPECTIVES	F
18	CONSTRUCTION NOTES	F
19	BUILDING SPECIFICATIONS	F
20	WORK SAFETY NOTES	F



GENERIC | TYPICAL KEY, LEGEND AND ABBREVIATIONS FOR COLLINS W COLLINS ARCHITECTURAL PLANS

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS. PLEASE USE THIS IN CONJUNCTION WITH ALL DRAWING SHEETS AND VIEWS CONTAINED FORTHWITH IN THIS PLAN SET.

REVISED JANUARY 2021

SYMBOLS AND LINES

SITE PLAN | 568 S138 PLAN

	LOT BOUNDARY
	SEWER LINE
	STORMWATER LINE
	WATER CONNECTION LINE
	DOWNPIPE TO WATER TANK
	DOWNPIPE FROM TANK TO APPLIANCE
	SILTATION CONTROL FENCING
	SITE HOARDING FENCING
	BATTER EXTREMITIES LINE
	EASEMENT BOUNDARY
	OVERHEAD POWER LINES

	FALL OF BATTER SLOPE
	DRIVEWAY SURFACE
	GARDEN TAP
	WATER METER / ALTERNATE WATER METER
	SANDBAG
	TEMPORARY HOARDING GATES
	STREET TREE / SITE TREE
	LIGHT POLE
	POWER POLE

	ELECTRICAL CUBICLE / PIT
	NBN PIT
	TELECOMMUNICATIONS PIT
	TO BE DEMOLISHED / REMOVED
	DEMOLITION LINE

FLOOR PLANS / SECTIONS (INCL SETOUT, ROOF, DETAIL CALL OUTS)

	OVERHEAD ITEM
	DEMOLITION LINE
	UPPER FLOOR OUTLINE
	ROOF OUTLINE OVER
	RAKED CEILING LINE
	BEAM LINE
	SQUARE SET OPENING
	TERMITE PROTECTION: TO AS 3602.2
	NATURAL GROUND LINE (EXCAVATED)
	COLUMN (MATERIAL AS PER SCHEDULE OR PLAN)
	MASONRY PIER (SIZE AS PER SCHEDULE OR PLAN)
	ENGAGED PIERS: TO COMPANY DETAILS 4779.3-2000.0 & 4779.3-2020.0
	INSULATION BATTING
	TO BE DEMOLISHED / REMOVED
	EARTH / SOIL

	FILL (TO ENGINEERS DETAIL)
	WET AREA TILED FLOOR SURFACE
	COMMON / OUTDOOR TILED FLOOR SURFACE
	BROOM FINISH CONCRETE FLOOR SURFACE
	MASONRY WALL
	CONCRETE
	TIMBER/METAL STUD FRAMED WALL
	CONCRETE BLOCK WALL
	MASONRY VENEER WALL
	METAL SHEET ROOFING
	KLIP LOK (OR SIMILAR) METAL SHEET ROOFING
	TILED ROOF
	WAFFLE POD (TO ENGINEERS DETAIL)
	TACTILE GROUND SURFACE INDICATORS: TO AS 3458.4.3-2009
	STAIRS INCLUDING DIRECTION OF TRAVEL (UP)
	RAMP INCLUDING DIRECTION OF TRAVEL (UP)

	GARDEN TAP
	RAINWATER DOWN PIPE: TO AS 3458.4
	SMOKE ALARMS: TO AS 3458.4.3-2009.1 & 3.4 OF THE NCC SCA 2.1, ALL ALARMS DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS, NOTES, AND MANUFACTURERS SPECIFICATIONS.
	MECHANICAL VENTILATION: MECHANICAL VENTILATION EXTERNALLY DUCTED TO NCC 3.8.7.3 & 3.8.7.4
	SLIDING DOOR UNIT OPENING DIRECTION
	SLIDING WINDOW OPENING DIRECTION
	AWNING/CASEMENT WINDOW OPENING DIRECTION
	HINGED DOOR OPENING DIRECTION
	GAS BOTTLES
	ELECTRICAL METER BOX
	GAS INSTANTANEOUS HOT WATER SERVICE
	TILED ROOF
	SOLAR HOT WATER SERVICE
	COOKTOP
	SINK TYPICAL

GENERAL SYMBOLS AND ARCHITECTURAL SYMBOLS

	NORTH
	WINDOW TAG (DA/CC)
	DOOR TAG (DA/CC)
	TYPICAL SECTION MARKER
	TYPICAL ELEVATION MARKER
	TYPICAL CALL OUT MARKER
	VIEW TAG AND SCALE

RENOVATION / DEMOLITION SYMBOLS

	TO BE DEMOLISHED OR REMOVED
	EXISTING ITEM / ELEMENT (FLOOR/WALLS/WINDOWS ETC)
	PROPOSED NEW ITEM / ELEMENT

MULTI STOREY SITE PLAN SYMBOLS / LEGEND

	TO BE DEMOLISHED OR REMOVED
	EXISTING AREA / FACADE / ROOM
	LOWEST FLOOR (GROUND TYPICAL)
	MIDDLE FLOOR
	UPPER FLOOR

GENERAL ABBREVIATIONS

ARI	AVERAGE RECURRANCE INDEX	F	FIXED GLASS / PANEL	PB	PLASTER BOARD
AHD	AUSTRALIAN HEIGHT DATUM	FG	FIXED GLASS WINDOW	RET. WALL	RETAINING WALL
CLT	CROSS LAMINATED TIMBER	GLT	GLUE LAMINATED TIMBER	RC	REINFORCED CONCRETE
COL	COLUMN	GTAP	GARDEN TAP	PV	PHOTO VOLTAC
COW	COST OF WORKS	GPO	GENERAL POWER OUTLET	RL	REDUCED LEVEL
DCP	DEVELOPMENT CONTROL PLAN	GRG	GARAGE	SB	SUB ELECTRICAL METER BOX
DEG	DEGREES	HWS	HOT WATER SERVICE	SL	SURFACE LEVEL
DGPO	DOUBLE GENERAL POWER OUTLET	LEP	LOCAL ENVIRONMENT PLAN	SW	STORM WATER
DH	DOUBLE HUNG WINDOW	LOH	LIFT OFF HINGE	TRH	TOILET ROLL HOLDER
DP	RAINWATER DOWN PIPE	LVL	LAMINATED VENEER LUMBER	T.O.K	TOP OF KERB
DTR	DOUBLE TOWEL RAIL	MECH.	MECHANICAL	T.O.W	TOP OF WALL
HWS	HOT WATER SERVICE	MB	ELECTRICAL METER BOX	WC	WATER CLOSET
FC	FIBRE CEMENT	MR	MOISTURE RESISTANT	1650B	BATH SIZING
F.S.L	FINISHED SURFACE LEVEL	MH	MAN HOLE	900V	VANITY SIZING
		NGL	NATURAL GROUND LINE	820	INTERIOR DOOR SIZING



BUSHFIRE NOTES: LOT NOT AFFECTED	BASIX/NATHERS NOTES: PLEASE REFER TO THE "SUMMARY OF BASIX/NATHERS COMMITMENTS" ON PAGE 3 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS	GENERAL PLAN SET NOTES: CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS
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DA ISSUE ONLY



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DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on this job prior to commencement of shop drawing or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

PROJECT: MULTI UNIT DEVELOPMENT (STRATA)			LEGENDS		SHEET SIZE:		DRAWING REVISIONS + NOTES			
STATUS: DA ISSUE			SHEET: 1 OF 19	SCALE:	1 : 100	A1	Date:	Description:	Issue:	Drawn:
LOT No: 19/14 DP No: 3259				START DATE:	29.11.22		30.11.22	INITIAL ISSUE	A	AE
STREET: 267 VICTORIA STREET, TAREE				DWG No:	A5455		07.08.24	REV B	B	AE
CLIENT: TATE					18.12.24		DA ISSUE	C	AE	
Arcade, Taree NSW 2430					14.01.25		DA ISSUE	D	AE	
					29.01.25		ENERGY ADDED	E	AE	
					11.02.25		REFI MCC	F	AE	

T: 02 6583 4411

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AREAS - ROOF AREAS	
Name	Area
U1 ROOF AREA	65.2 m ²
U2 ROOF AREA	70.2 m ²
U3 ROOF AREA	70.2 m ²
U4 ROOF AREA	70.2 m ²
U5 ROOF AREA	70.2 m ²
U6 ROOF AREA	70.2 m ²
U7 ROOF AREA	70.2 m ²
U8 ROOF AREA	76.8 m ²
TOTAL	563.8 m ²

Summary of BASIX Commitments (refer to Certificate for exact details)		
Water Commitments		
Showerheads:	4* (>6 but <=7.5 L/min)	Toilets: 4 Star
Basin Taps:	4 Star	Kitchen Taps: 4 Star
Individual Water Tank:	3,000L min	Individual Roof Collection: 100% of each units roof area
Individual Rainwater Connection:	All toilets in the development Cold water supply to the washing machine At least 1 external tap	
Energy Commitments		
HWS:	Electric Heat Pump (air-sourced) STCs 31 – 35	
Cooling:	Ceiling Fan in at least 1 bedroom and 1 living room No active cooling system in the development	
Heating:	No active heating system in the development 1-phase air-conditioning in at least 1 living room and 1 bedroom (3 Star New Rating)	
Ventilation:	Kitchen: ducted, manual switch on/off control Bathroom: ducted, manual switch on/off control Laundry: ducted, manual switch on/off control	
Appliances:	Electric Cooktop & Electric Oven to be installed	
Artificial Lighting:	The following rooms are to be primarily lit by fluorescent or LED lamps or dedicated fittings: All Bedrooms/Study All Living/Dining Rooms The Kitchen All Hallways The Laundry All Bathrooms/Toilets	
Clothes Line:	Fixed outdoor clothes drying line to be installed	
Alternative Energy:	Not Required	



SITE PLAN PROPOSED S68 S138

1 : 200

---10 STAR BUILDING ASSESSMENTS---

Certificate No. #HR-KKLRXU-01

Scan QR code or follow website link for rating details.

Assessor name: Aidan Clarke

Accreditation No.: ABSA 101518

Property Address: 267 VICTORIA STREET, TAREE, NSW 2430

http://www.hero-software.com.au/pdf/HR-KKLRXU-01

ABSA 101518

Assessment Number: 03/08/2024-03/08/2025

Assessor Name: Aidan Clarke

Assessment Number: 101518

Assessment Signature: [Signature]

DA ISSUE ONLY

collinswcollins

Building Designers

89A Lord Street (PO Box 5667), Port Macquarie NSW 2444 | Shop 17 Centrepoin Arcade, Taree NSW 2430

BUSHFIRE NOTES:
LOT NOT AFFECTED

BAL - N/A

BASIX/NATHERS NOTES:
PLEASE REFER TO THE "SUMMARY OF BASIX/NATHERS COMMITMENTS" ON PAGE 3 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

GENERAL PLAN SET NOTES:
CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS

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STATUS: DA ISSUE

LOT No: 19/14 DP No: 3259

STREET: 267 VICTORIA STREET, TAREE

CLIENT: TATE

SITE PLAN - S68 & S138 PLAN

SHEET: 4 OF 19

SCALE: 1 : 200

START DATE: 29.11.22

DWG No: A5455

SHEET SIZE: A1

DRAWING REVISIONS + NOTES

Date	Description	Issue	Drawn
30.11.22	INITIAL ISSUE	A	AE
07.08.24	REV B	B	AE
18.11.24	DA ISSUE	C	AE
14.01.25	DA ISSUE	D	AE
29.01.25	ENERGY ADDED	E	AE
11.02.25	REF MCC	F	AE

1 : 02 6583 4411

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CIVIL & STORMWATER WORKS for 267 VICTORIA STREET TAREE NSW 2430

Prepared by
WALLACE INFRASTRUCTURE DESIGN PTY LTD















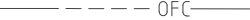





DRAWING NUMBER	DRAWING DESCRIPTION
C01.01	LEGEND, DRAWING SCHEDULE AND LOCATION PLAN
C02.01	GENERAL NOTES
C05.01	STORMWATER MANAGEMENT PLAN
C06.01	RAINWATER TANK AND STORMWATER PIT DETAILS
C06.02	RAINGARDEN TYPICAL SECTION & DETAILS
C07.01	WATER SERVICE PLAN
C07.02	SEWER PLAN

ABBREVIATIONS


1/2	ABOVE GROUND	IFC	ISSUED FOR CONSTRUCTION	SV	STOP VALVE
AGG	AGGREGATE	IFCR	ISSUED FOR CLIENT REVIEW	SW	STORMWATER
ARCH	ARCHITECT	IL	INVERT LEVEL	SWP	STORMWATER PIT
ASP	ASPHALT	IO	INSPECTION OPENING	THK	THICKNESS
BM	BENCHMARK	KIP	KERB INLET PIT	TJ	TRAVERSE JOINT
CAD	COMPUTER AIDED DRAFTING	L	LENGTH	TOW	TOP OF WALL
C-C	CENTRE TO CENTRE	LP	LAMP POST (SURVEY)	TW	TRADE WASTE
CH	CHAINAGE	MAX	MAXIMUM	TYP	TYPICAL
CI	CAST IRON	MC	MASS CONCRETE	U/G	UNDERGROUND
CJ	CONSTRUCTION JOINT	MH	MANHOLE	UNO	UNLESS NOTED OTHERWISE
CL	COVER LEVEL or CENTRE LINE	MIN	MINIMUM	U/S	UPSTREAM
CO	CLEAN OUT (SUBSOIL)	MISC	MISCELLANEOUS	VC	VITRIFIED CLAY PIPE
COG	CHANGE OF GRADE	N	NORTH	VP	VENT PIPE
CONC	CONCRETE	NRV	NON RETURN VALVE	VR	VERTICAL RISER
CTRL	CONTROL	NTS	NOT TO SCALE	W	WIDTH
CR	CROWN	OD	OUTER DIAMETER	WC	WATER CLOSET
CTS	CENTRES	OF	OVERFLOW	WL	WATER LEVEL
D	DEPTH	OH	OVERHEAD	WM	WATER METER
DIA	DIAMETER	PP	POWER POLE	WS	WASTE STACK
DP	DOWNPIPE	PPE	PERSONAL PROTECTIVE EQUIP.		
DRG	DRAWING	PVC	POLYVINYLCHLORIDE	<u>UNITS</u>	
D/S	DOWN STREAM	PV	PRESSURE VENT	mm	MILLIMETRES
DTM	DIGITAL TERRAIN MODEL	PVP	PRESSURE VENT PIPE	cm	CENTIMETRES
EB	EDGE BITUMIN	QA	QUALITY ANALYSIS	m	METRES
EX	EXISTING	QTY	QUANTITY	m ²	SQUARE METRES
ESL	EXISTING SURFACE LEVEL	R	RADIUS	m ³	CUBIC METRES
FH	FIRE HYDRANT	RC	REINFORCED CONCRETE	L/s	LITRES PER SECOND
FHR	FIRE HOSE REEL	REV	REVISION	ha	HECTARES
FFL	FINISHED FLOOR LEVEL	RL	REDUCED LEVEL		
FGL	FINISHED GROUND LEVEL	RW	RETAINING WALL		
FSL	FINISHED SURFACE LEVEL	SFW	SEALED FLOOR WASTE		
FW	FLOOR WASTE	SL	SURFACE LEVEL		
GA	GENERAL ARRANGEMENT	SMH	SEWER MANHOLE		
GI	GALVANISED IRON	SMV	SEWER MAIN VENT		
GFL	GARAGE FINISHED LEVEL	SOD	SIDE OUTLET DRAIN		
IC	INSPECTION CHAMBER	S/S	STAINLESS STEEL		
ID	INSIDE DIAMETER	STD	STANDARD		

LINETYPES & SYMBOLS





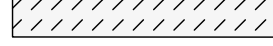


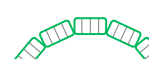

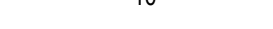

GENERAL

SITE BOUNDARY	
CADASTRAL BOUNDARY	
EASEMENT BOUNDARY	
<u>EXISTING FEATURES</u>	
CONTOURS	
STORMWATER PIPE	
STORMWATER PIT	
ELECTRICAL CABLE - U/G	
ELECTRICAL CABLE - O/H	
EXISTING SEWER PIPE	
EXISTING WATER	
EXISTING WATER (HYDRANT)	
EXISTING WATER (STOP VALVE)	
EXISTING TELECOM	
COMMUNICATIONS PIT	
EXISTING GAS	
EXISTING BUILDING	
TREES / SHRUBS	
<u>PROPOSED - BUILDING (INDICATIVE ONLY)</u>	
DWELLING NUMBER	UNIT 01
FINISHED FLOOR LEVEL	FFL 5.00
BUILDING FOOTPRINT	

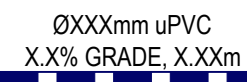
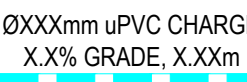

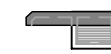











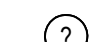

PROPOSED - UTILITIES

SEWER	_____ S _____ S _____
WATER	_____ W _____ W _____
COMMUNICATIONS	_____ T _____ T _____
COMMUNICATIONS - OPTIC FIBRE	_____ OFC _____ OFC _____
COMMUNICATIONS PIT	
GAS	_____ G _____ G _____
ELECTRICAL CABLE - U/G	_____ E _____ E _____
ELECTRICAL CABLE - O/H	_____ OHE _____ OHE _____
REDUNDANT	_____ X X X X X X X X _____

PROPOSED - EROSION AND SEDIMENT CONTROL

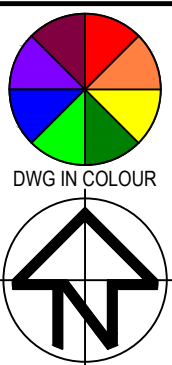
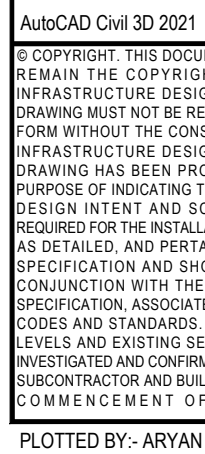
SITE EXCLUSION FENCE	
SEDIMENT FENCE	
DIVERSION DRAIN	
STABILISED SITE ACCESS	
MATERIAL STOCKPILE	
SLOPE DIRECTION	
GEOTEXTILE INLET FILTER	
MESH AND GRAVEL INLET FILTER	
SANDBAG / HAY BALES	
<u>PROPOSED CONTOURS</u>	
MAJOR CONTOUR INTERVAL	
MINOR CONTOUR INTERVAL	

PROPOSED - STORMWATER

SW PIPE (INCL. DIA/GRADE/LENGTH)	 <p>ØXXXmm uPVC X.X% GRADE, X.Xxm</p>
SW PIPE - CHARGED (INCL. DIA/GRADE/LENGTH)	 <p>ØXXXmm uPVC CHARGE X.X% GRADE, X.Xxm</p>
SW PIT - GRATED / JUNCTION	
SW - KERB INLET PIT (INCLUDING LINTEL)	
RAINWATER/REUSE TANK	 <p>OR</p> 
GROSS POLLUTANT TRAP	
GRATED DRAIN	
INFILTRATION TRENCH	
HEADWALL	
SUBSOIL	
SW SWALE	
PIPE RISER	
PIPE DROPPER	
OVERLAND FLOW PATH	
SW PIT NUMBER	
SW CATCHMENT (NUMBER / AREA IN ha)	

PROPOSED - CIVIL

CONCRETE	
ASPHALTIC CONCRETE	
SAND	
EARTH	
RIP RAP	
BUILDING / STRUCTURES	
TIMBER	
BLOCK PAVERS	
RETAINING WALL	
KERB RAMP	
VEHICULAR CROSSING	
FENCE	
BATTER	
BOLLARD - TYPE 1 (FIXED)	● B-T1
BOLLARD - TYPE 2 (REMOVABLE)	● B-T2
LINEMARKING - CHEVRON	
EXPANSION JOINT	— EJ
TRAVERSE JOINT	- - - TJ
CONTROL JOINT	- - - - CJ
FINISHED GRADE LEVELS	25.758 ●
EXISTING GRADE LEVELS	25.710 ~



THIS DRAWING IS NOT APPROVED FOR CONSTRUCTION UNLESS ENDORSED				
A	DA ISSUE	12.12.24	P.D.	-
REV	DESCRIPTION	DATE	APPVD	ENDTD



CLIENT:
CAMERON & AMANDA TATE
cmtate@ljhtaree.com.au
0437 877 719



**WALLACE INFRASTRUCTURE
DESIGN PTY LTD**

PART OF WALLACE DESIGN GROUP PTY LTD

ABN: 96 154 894 952

PO BOX 23, CHARLESTOWN, NSW 2290
phone: (02) 49 294 109
email: mail@wdegroup.com.au
web: www.wdegroup.com.au

PROJECT:
CIVIL WORKS for
LOT 19, DP 3259
267 VICTORIA STREET
TAREE NSW 2430

DRAWING TITLE:
CIVIL SERVICES
LEGEND, DRAWING SCHEDULE
AND LOCATION PLAN

DRAWING STATUS		DA APPROVAL NOT TO BE USED FOR CONSTRUCTION			
SCALE:				ORIG. SIZE	
N.T.S.				A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
AK	AK	PD	PD	--	12.12.24
PROJECT No.		DRAWING No.			REV
24263		C01.01			A

GENERAL NOTES

1. ALL CONSTRUCTION WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL'S ENGINEERING REQUIREMENTS FOR DEVELOPMENTS.
2. ALL DIMENSIONS, EASEMENTS AND LOTS SUBJECT TO REGISTRATION OF DEPOSITED PLAN.
3. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND CONSULTANT'S DRAWINGS AND SPECIFICATIONS, AND OTHER WRITTEN REPORTS (e.g GEOTECHNICAL, ARBORIST, ENVIRONMENTAL, ETC.). ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORKS.
4. ALL LEVELS SHALL BE OBTAINED FROM ESTABLISHED BENCH MARKS AS DIRECTED BY THE SUPERVISOR.
5. THE DEVELOPER, SHALL ENSURE ALL ASSOCIATED DOCUMENTATION (GEOTECHNICAL, LANDSCAPE, ARCHITECTURAL, ELECTRICAL, TELECOM, GAS ETC.) HAS BEEN APPROVED FOR CONSTRUCTION BEFORE COMMENCING ANY WORKS.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION, PROTECTION AND ADJUSTMENT TO ALL IN GROUND AND ABOVE GROUND SERVICES. SEE HUNTER WATER'S NOTICE OF REQUIREMENTS.
7. EROSION CONTROL MEASURES, DEVICES, SILT TRAPS. ETC. ARE TO BE INSTALLED BEFORE ANY SITE DISTURBANCE IN ACCORDANCE WITH COUNCIL INSPECTORS REQUIREMENTS AND SITE SEDIMENTATION AND EROSION CONTROL PLANS.
8. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL WORKS ARE CARRIED OUT IN ACCORDANCE WITH THE WORK HEALTH SAFETY ACT.
9. VEHICULAR ACCESS AND ALL SERVICES ARE TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION WORKS.
10. ALL WASTE OR DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF SITE TO A COUNCIL APPROVED SITE. ALL FEES AND CHARGES SHALL BE INCLUDED IN THE CONTRACT SUM.
11. CONSTRUCTION VIBRATION TO COMPLY WITH AS2760.1-2004 AND/OR NSW DEPT OF ENVIRONMENT AND CONSERVATION NOISE REQUIREMENTS
12. EMISSIONS FROM SITE ARE NOT TO INTERFERE WITH THE AMENITY OF THE NEIGHBORHOOD.
13. NOISE EMISSIONS ARE TO COMPLY WITH NSW EPA NOISE CONTROL MANUAL. TIME RESTRICTIONS APPLY TO CONSTRUCTION WORKS AS FOLLOWS: 7AM TO 6PM MON-FRI; 8AM TO 1PM SAT.
14. TREES & SHRUBS WHICH ARE FELLED SHALL BE SALVAGED FOR RE-USE, EITHER IN LOG FORM, OR AS A WOODCHIP MULCH FOR EROSION CONTROL AND/OR SITE REHABILITATION. NON-SALVAGEABLE MATERIAL SUCH AS ROOTS & STUMPS SHALL BE DISPOSED OF IN AN APPROVED MANNER.
15. 'ESCP' REFERS TO EROSION AND SEDIMENT CONTROL PLAN, 'SWMP' REFERS TO SOIL AND WATER MANAGEMENT PLAN, AND, 'ESC' REFERS TO EROSION AND SEDIMENT CONTROL.
16. SEDIMENT, INCLUDES, BUT IS NOT LIMITED TO, CLAY, SILT, SAND, GRAVEL, SOIL, MUD, CEMENT AND CERAMIC WASTE.
17. ANY REFERENCE TO THE BLUE BOOK REFERS TO "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION", LANDCOM, 2004.
18. ANY REFERENCE TO THE IECA WHITE BOOKS (2008) REFERS TO IECA 2008, "BEST PRACTICE EROSION AND SEDIMENT CONTROL". BOOKS 1-6. INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIA), PICTON, NSW.
19. ANY MATERIAL DEPOSITED IN ANY CONSERVATION AREA FROM WORKS ASSOCIATED WITH THE DEVELOPMENT SHALL BE REMOVED IMMEDIATELY BY MEASURES INVOLVING MINIMAL GROUND AND/OR VEGETATION DISTURBANCES AND NO MACHINERY, OR FOLLOWING DIRECTIONS BY COUNCIL AND/OR WITHIN A TIMEFRAME ADVISED BY COUNCIL.

SURVEY NOTES

1. THE EXISTING SURVEY CONDITIONS SHOWN ON THESE DRAWINGS HAVE BEEN DERIVED FROM SURVEY INFORMATION SUPPLIED BY CALCO SURVEYORS PTY LTD, DATED 03.02.2023, REF NO. 4257.
2. THE INFORMATION SHOWN IS PROVIDED AS A BASIS FOR THE DESIGN. WALLACE DESIGN GROUP DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.
3. SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTRACTOR SHALL CONTACT CALCO SURVEYORS PTY LTD AND OR WALLACE DESIGN GROUP FOR CLARIFICATION.
4. THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.



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A	DA ISSUE	12.12.24	P.D.	-	
REV	DESCRIPTION	DATE	APPVD	ENDOD	

ARCHITECT:



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web: www.wdesigngroup.com.au

PROJECT:

CIVIL WORKS for
LOT 19, DP 3259
267 VICTORIA STREET
TAREE NSW 2430

DRAWING TITLE:

CIVIL SERVICES
GENERAL NOTES

DRAWING STATUS **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:		N.T.S.		ORIG. SIZE	
A1					
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
AK	AK	PD	PD	--	12.12.24
PROJECT No.		DRAWING No.		REV	
24263		C02.01		A	

STORMWATER NOTES

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL DETAILS.
2. ALL WORKS ARE TO BE IN ACCORDANCE WITH AS3500, COUNCIL'S DEVELOPMENT CONTROL PLAN AND PROPRIETARY MANUFACTURERS RECOMMENDATIONS.
3. UNLESS OTHERWISE STATED, ALL STORMWATER PIPES (INCLUDING DOWNPIPES AND RAINWATER TANK OVERFLOW PIPES) ARE TO BE uPVC SEWER GRADE, U.N.O JOINTED & INSTALLED TO MANUFACTURERS RECOMMENDATIONS.
4. ALL uPVC STORMWATER LINES TO HAVE ALL JOINTS, INC. DOWNPIPE CONNECTIONS, FULLY SOLVENT WELDED, INCLUDING ANY CHARGED LINES.
5. CONNECT DOWNPIPES AS REQUIRED TO NOMINATED HARVESTING TANK IN ACCORDANCE WITH APPROVED DEVELOPMENT PLANS AND HYDRAULIC ENGINEERS DESIGN.
6. ALL LEVELS ARE DATUM AHD.
7. ALL LEVELS ARE FINISHED PAVEMENT OR LAWN LEVELS.
8. CONTRACTOR TO ALLOW FOR ALL PIPE SUPPORT SYSTEM TO SOFFIT AS PER MANUFACTURERS SPECIFICATIONS.
9. ALL CONCRETE TO BE MANUFACTURED AND SUPPLIED IN ACCORDANCE WITH AS1379.
10. AT COUNCIL'S DISCRETION, ALL CONCRETE CAN BE SUBJECT TO PROJECT ASSESSMENT AND TESTING TO AS1379
11. MINIMUM PIPE COVERS TO BE IN ACCORDANCE WITH AS3500.
12. PITS TO BE FILLED ACCORDINGLY TO MEET INVERTS AS NEEDED.
13. CONTRACTOR TO CONFIRM ALL LEVELS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES ARE TO BE IMMEDIATELY REPORTED TO WALLACE DESIGN GROUP.

SUBSOIL DRAINAGE NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH COUNCIL'S CONSTRUCTION SPECIFICATIONS FOR SUBSURFACE DRAINAGE.
2. SUBSOIL PIPE TO BE Ø100 SLOTTED PVC OR CORRUGATED CIRCULAR PLASTIC PIPE AND ENCLOSED IN SEAMLESS FILTER FABRIC SOCK
3. SUBSOIL DRAINS SHALL CONSIST OF A 300 (MINIMUM) WIDE TRENCH, BACKFILLED WITH 7 OR 10mm AGGREGATE AND WRAPPED IN BIDIM A12 GEOTEXTILE FABRIC OR SIMILAR, LAPPED AT THE TOP. DEPTH OF TRENCH TO EXTEND 450 (MINIMUM) IN ROCK OR 600 (MINIMUM) IN EARTH BELOW FINISHED SUB-GRADE LEVEL. INVERT OF TRENCH SHOULD ALSO BE LOWER THAN THE INVERT OF ANY SERVICE CROSSINGS.

ROAD/DRIVEWAY PAVEMENT NOTES

1. THE PAVEMENT DESIGN RECOMMENDATIONS SHOWN ON THESE DRAWINGS ARE INDICATIVE ONLY, AND ARE TO BE CONFIRMED BEFORE CONSTRUCTION CERTIFICATE STAGE BY A QUALIFIED/REGISTERED GEOTECHNICAL ENGINEER.

RETAINING WALL NOTES

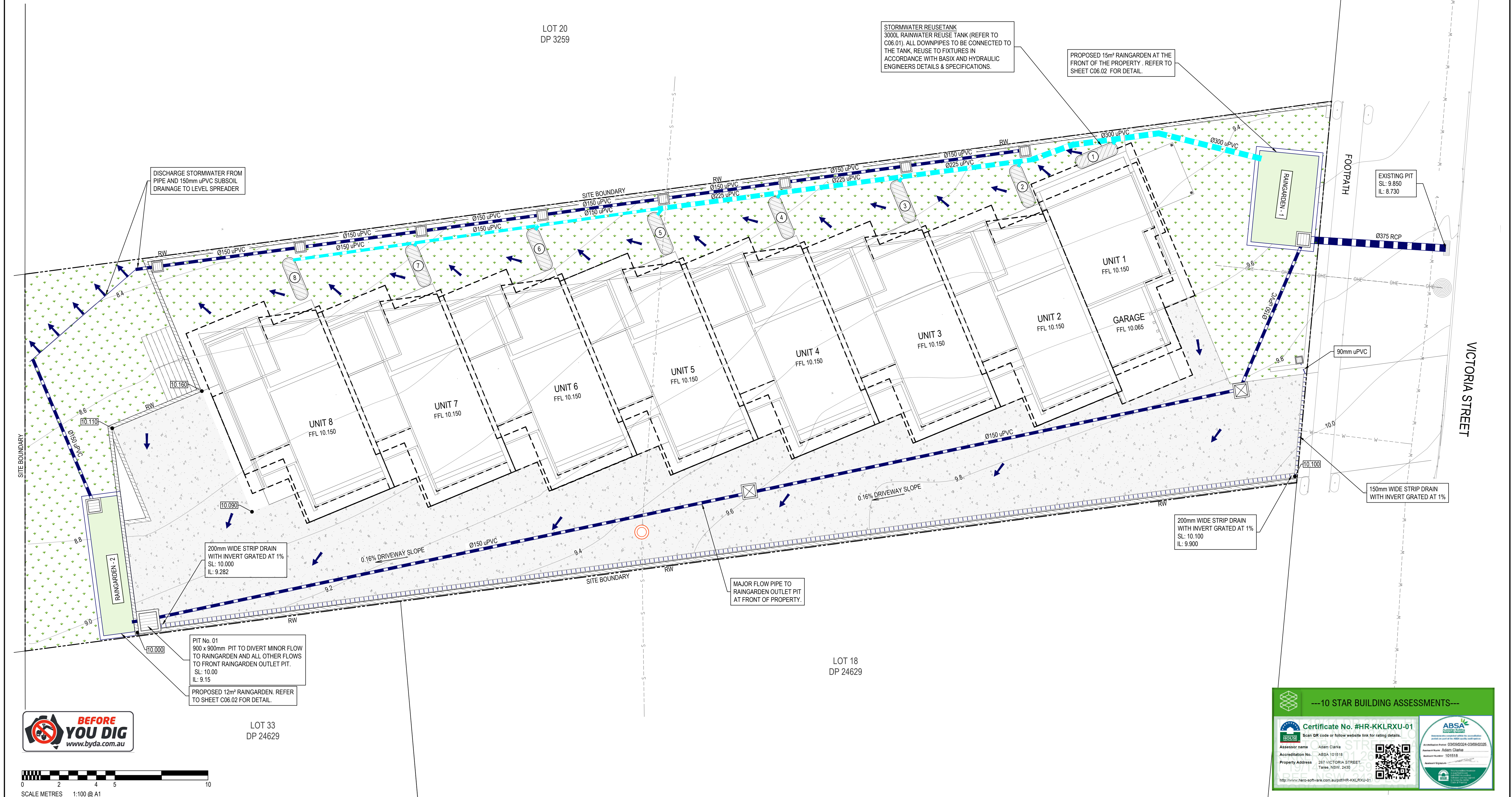
1. ALL RETAINING WALLS SHOWN ON THESE PLANS SHALL BE DESIGNED BY A QUALIFIED & REGISTERED STRUCTURAL ENGINEERING AT TIME OF CONSTRUCTION CERTIFICATE STAGE.



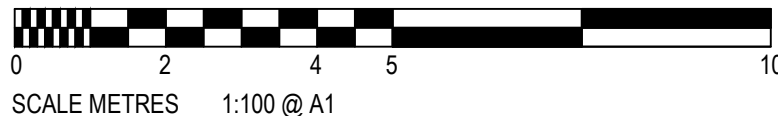
TOTAL SITE AREA: 1406.7 m ²	
BUILDING AREA (8 UNITS) -	571.5 m ²
DRIVEWAY (NEW) -	408 m ²
TOTAL SITE IMPERVIOUS AREA -	979.5 m ²
PERCENT SITE IMPERVIOUS AREA -	69.6%

REAR SIDE RAINGARDEN REQUIREMENTS:			
TOTAL FILTER AREA REQUIRED -			12 m ²
TOTAL SURFACE AREA -			12 m ²
OUTPUT RESULTS FOR TARGET ANALYSIS:			
	EXISTING	PROPOSED	% REDUCTION
TSS	176.9 kg/yr	29.75 kg/yr	83.18%
TP	0.2973 kg/yr	0.0998 kg/yr	66.43%
TN	1.329 kg/yr	0.6319 kg/yr	52.45%

FRONT SIDE RAINGARDEN REQUIREMENTS:			
TOTAL FILTER AREA REQUIRED -			15 m ²
TOTAL SURFACE AREA -			15 m ²
OUTPUT RESULTS FOR TARGET ANALYSIS:			
	<u>EXISTING</u>	<u>PROPOSED</u>	<u>% REDUCTION</u>
TSS	29.22 kg/yr	3.382kg/yr	88.43%
TP	0.1207 kg/yr	0.0465 kg/yr	61.43%
TN	1.599 kg/yr	0.445 kg/yr	72.18%

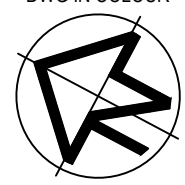


LOT 33
DP 24629



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REV	DESCRIPTION	DATE	APPVD	ENDTD	

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PROJECT:
CIVIL WORKS for
LOT 19, DP 3259
267 VICTORIA STREET
TAREE NSW 2430

DRAWING TITLE:
CIVIL SERVICES
STORMWATER MANAGEMENT PLAN

DRAWING STATUS	DA APPROVAL NOT TO BE USED FOR CONSTRUCTION
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SCALE: 1:100					ORIG. SIZE A1	
DRAWN AK	DESIGNED AK	CHECKED PD	APPROVED PD	ENDORSED --	DATE 12.12.24	
PROJECT No. 24263		DRAWING No. C05.01			REV A	



PLOTTED BY:- ARYAN DATE:- 12 December 2024 10 19 AM FILENAME:- O:\PROJECTS\2024\24263 - 267 VICTORIA STREET, TAREE\CAD\TITLE\24263 CIV DA-1A1- 267 VICTORIA ST

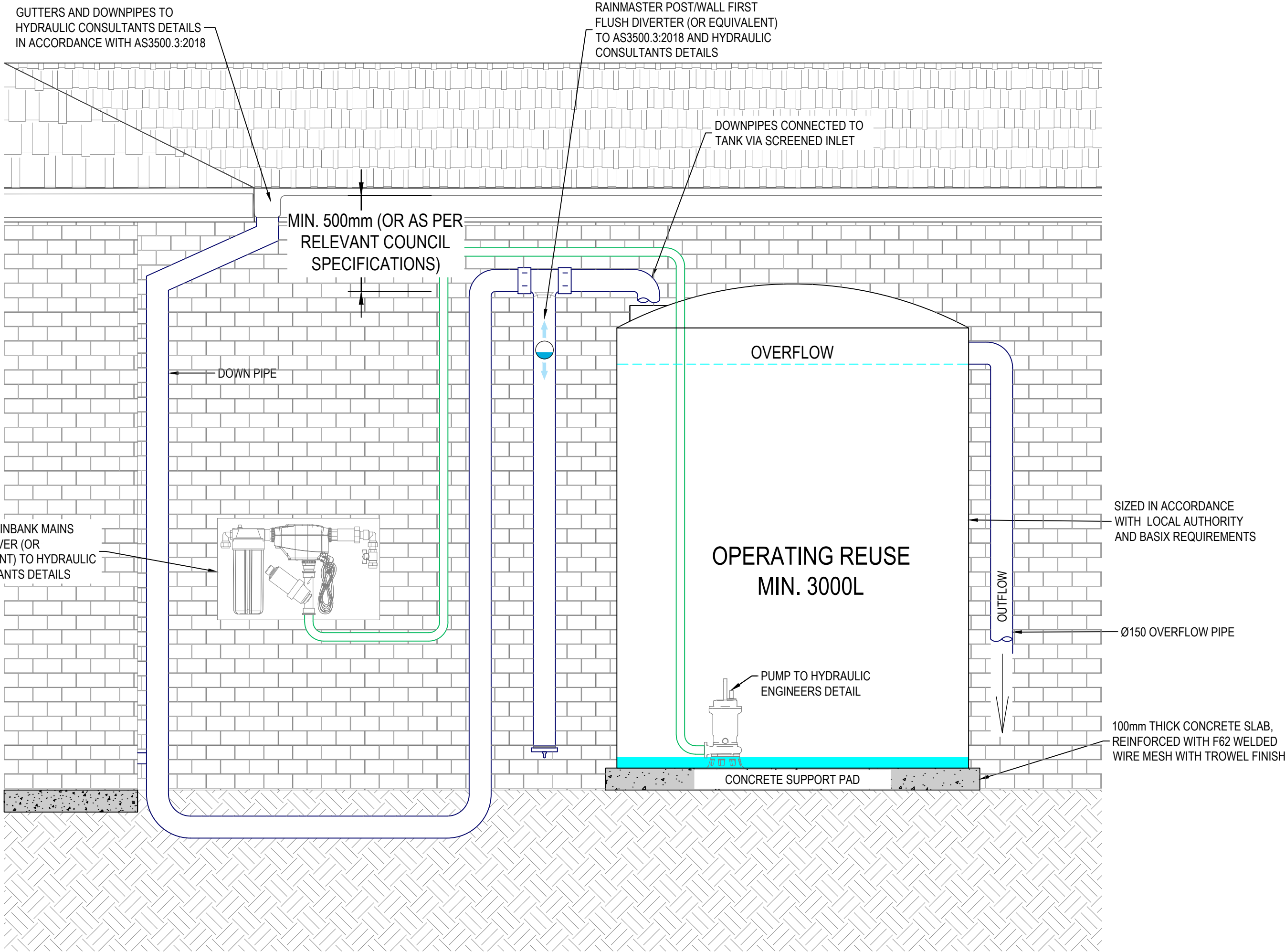
GENERAL RAINWATER TANK NOTES:

- ALL UNITS ARE TO BE CONNECTED TO THE SPECIFIED RAINWATER REUSE/STORAGE TANK AS NOTED ON THE STORMWATER DRAINAGE PLAN SHEET.
- DAVEY RAINBANK MAINS SWITCHOVER (OR EQUIVALENT) AND RAINWATER TANK TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- VOLUMES SHOWN FOR REUSE IS PROVIDED TO COMPLY WITH BASIX AND/OR COUNCIL GUIDELINES AND DO NOT INCLUDE THE PERMANENT VOLUME REQUIRED FOR OPERATION OF THE PUMP.

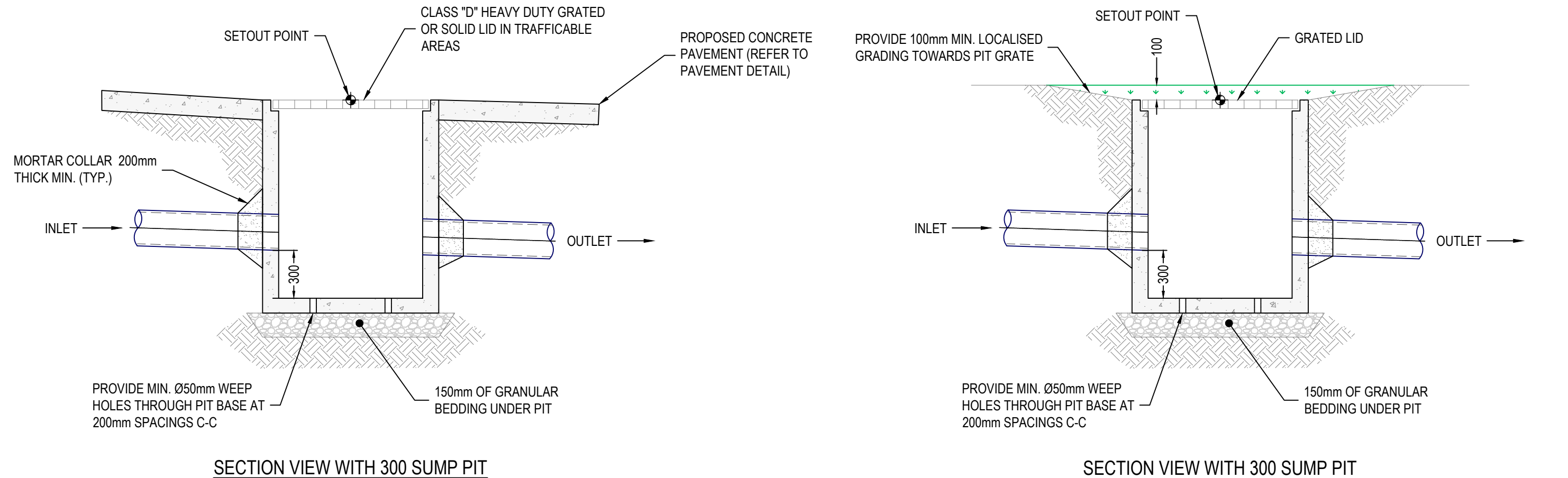
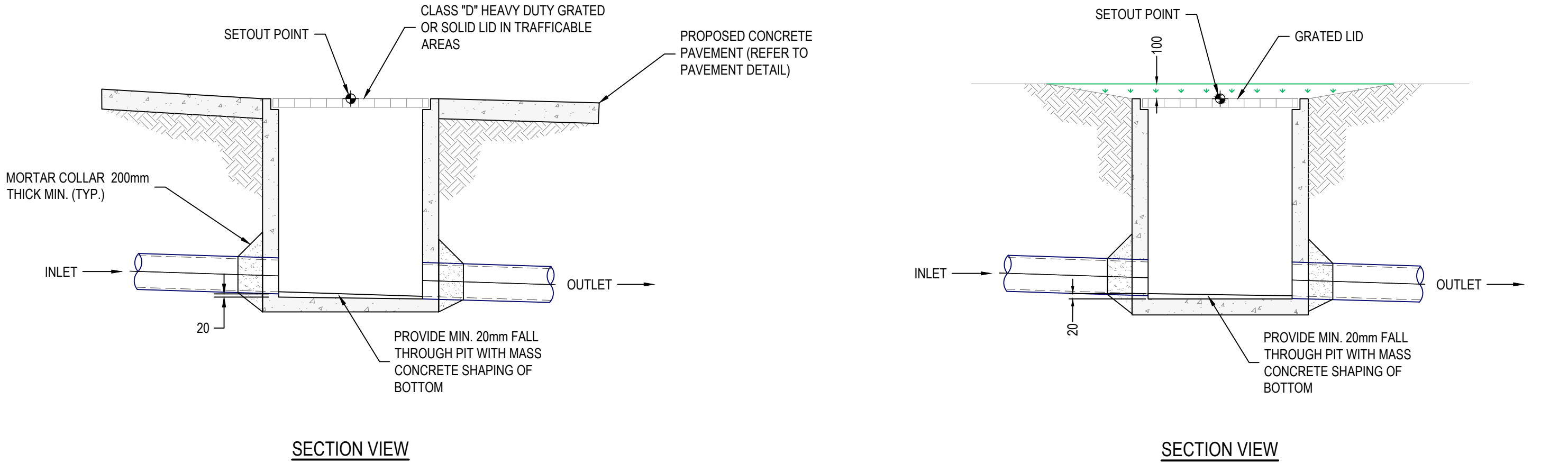
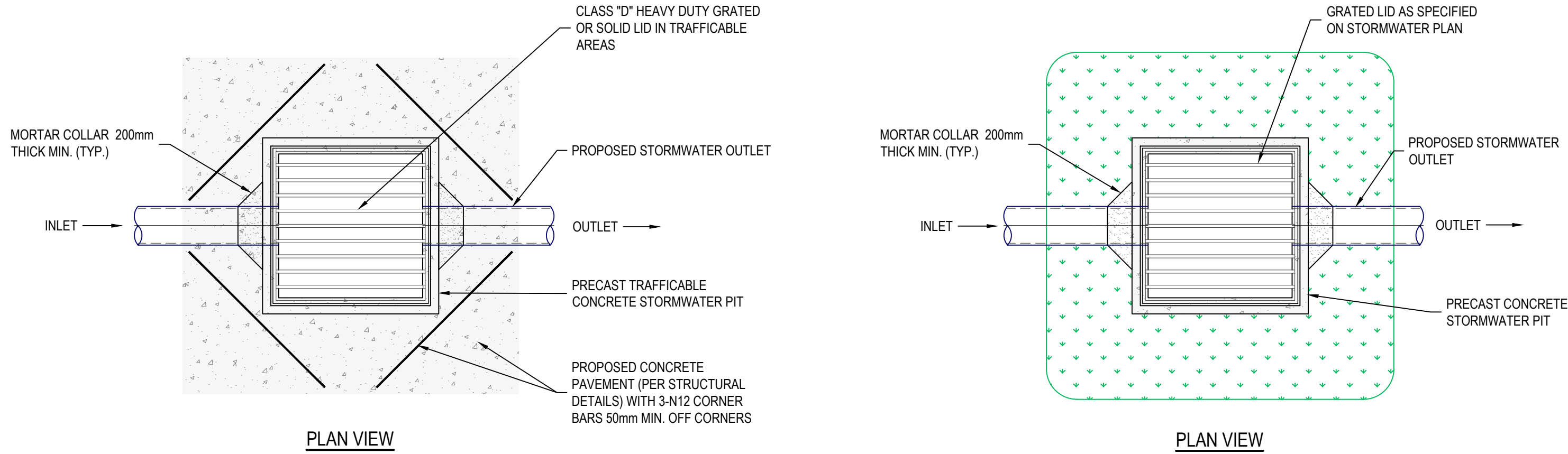
STORMWATER DETENTION RESULTS				
DESCRIPTION / STORM EVENT	20% AEP	10% AEP	5% AEP	1% AEP
PRE-DEVELOPED PEAK FLOW (L/s)	44	59	73	95
DEVELOPED PEAK FLOW (L/s) w/DETENTION	40	52	63	88

NOTE:

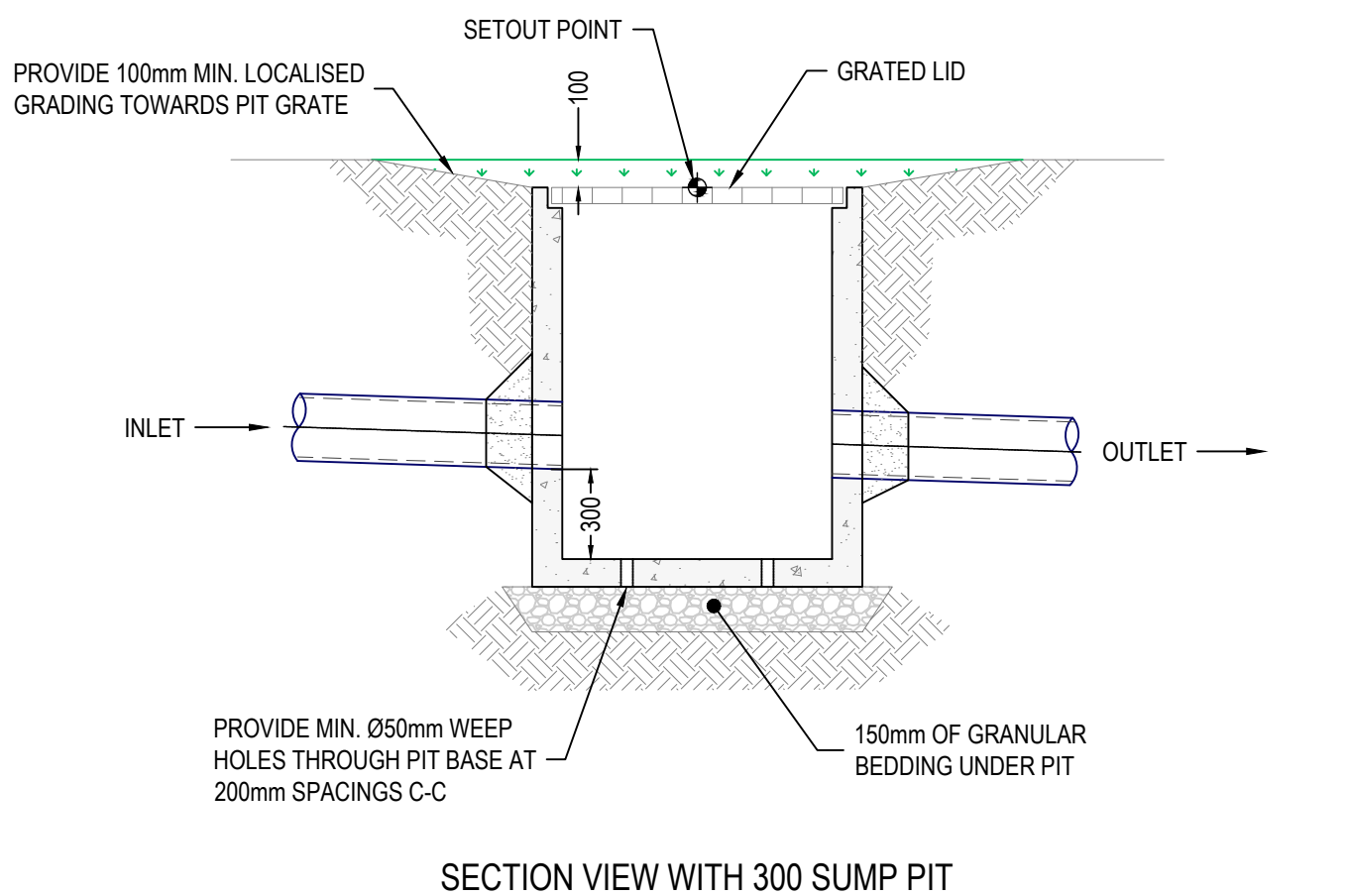
- STORMWATER ANALYSIS HAS BEEN COMPLETED USING DRAINS MODELLING SOFTWARE IN ACCORDANCE WITH BOOK 9, RUNOFF IN URBAN AREAS, AUSTRALIA RAINFALL AND RUNOFF, A GUIDE TO FLOOD ESTIMATING, 2019.
- ASSUMPTIONS FOR STORMWATER ANALYSIS INCLUDE:
 - BASIX REQUIREMENT EXCLUDED FROM ANALYSIS.
 - RAINWATER REUSE VOLUMES EXCLUDED FROM PRELIMINARY ANALYSIS.



TYPICAL ABOVEGROUND RAINWATER REUSE TANK SECTION FOR EACH UNIT
NTS



TYPICAL AT-GRADE STORMWATER DRAINAGE PIT IN PAVED AREAS
1:25

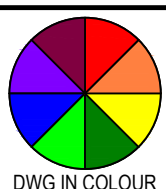


TYPICAL DEPRESSED STORMWATER DRAINAGE PIT IN GRASSED AREAS
1:25



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PROJECT:

CIVIL WORKS for
LOT 19, DP 3259
267 VICTORIA STREET
TAREE NSW 2430

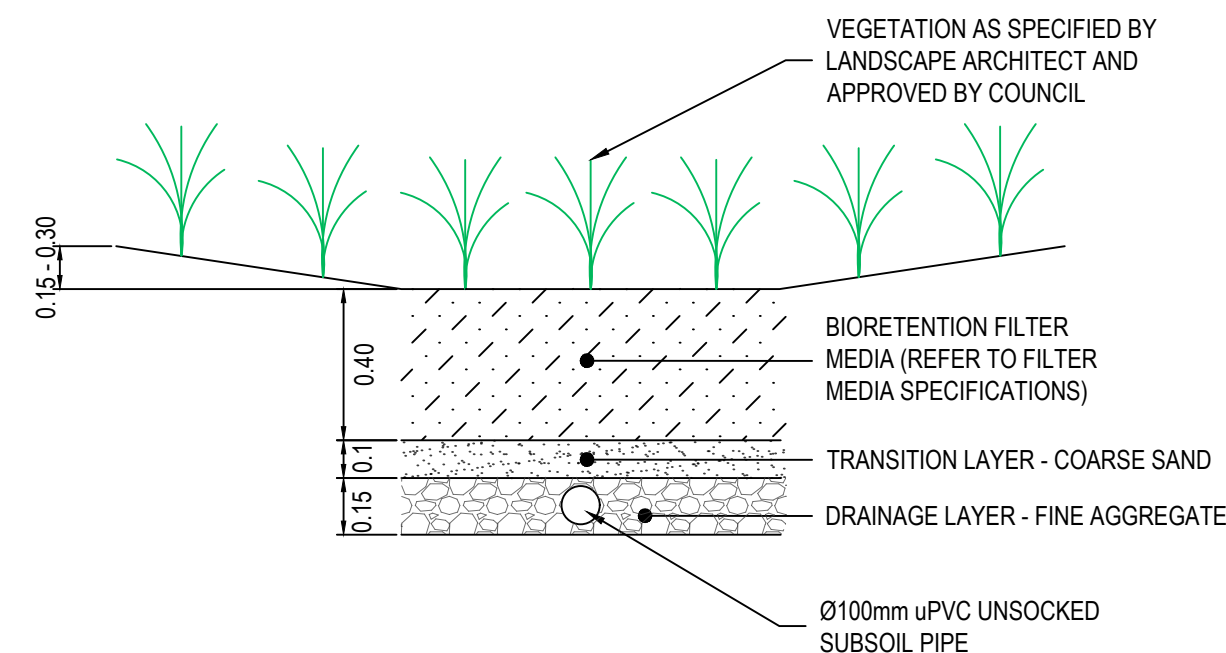
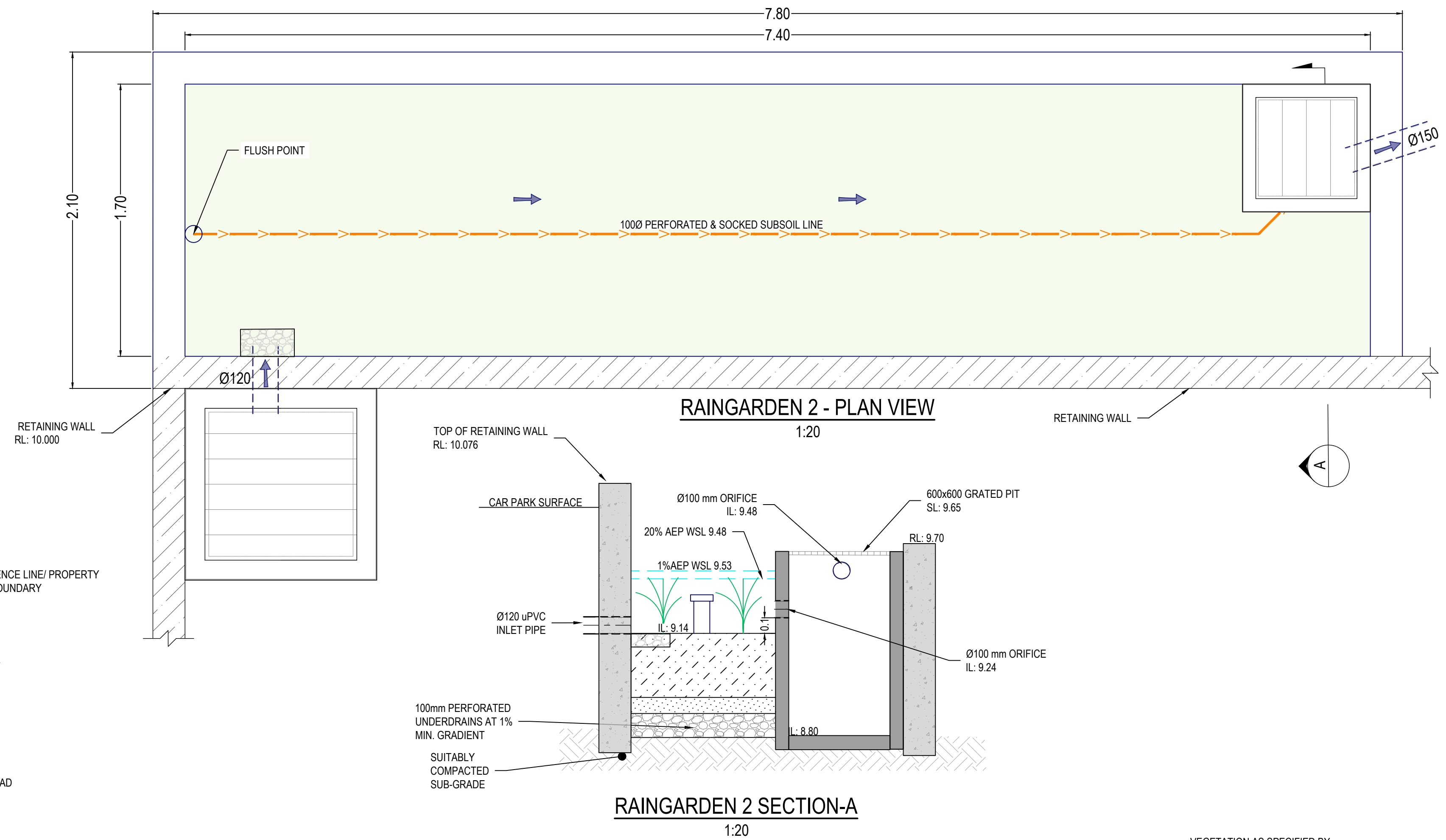
DRAWING TITLE:

CIVIL SERVICES
RAINWATER TANK AND STORMWATER PIT DETAILS

DRAWING STATUS: **DA APPROVAL**

NOT TO BE USED FOR CONSTRUCTION

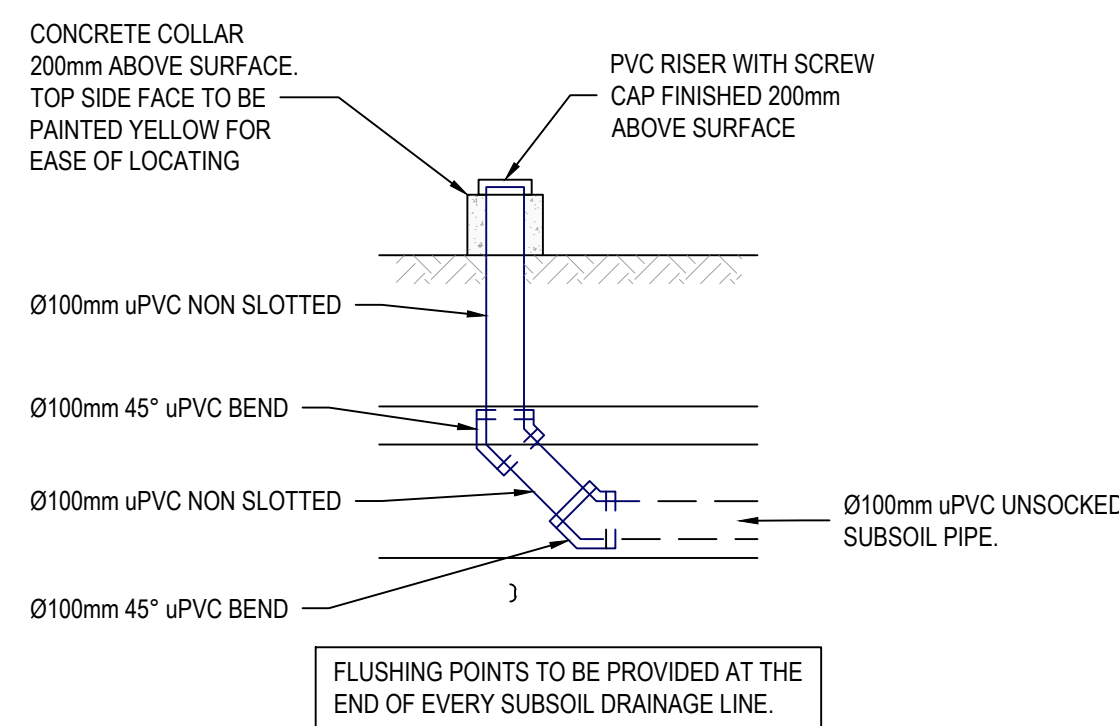
SCALE:				ORIG. SIZE	
1:25				A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
AK	AK	PD	PD	--	12.12.24
PROJECT No.		DRAWING No.			REV
24263		C06.01			A



NOTES:

1. BIORETENTION FILTER MEDIA: SPECIFICATION AND HYDRAULIC CONDUCTIVITY SHALL BE IN ACCORDANCE WITH THE FACILITY FOR ADVANCING WATER BIOFILTRATION (FAWB, 2009) "ADOPTION GUIDELINES FOR STORMWATER BIOFILTRATION SYSTEM".
2. THE FILTER MEDIA SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 - pH BETWEEN 5.5 AND 7.5
 - ORTHIPHOSPHATE CONTENT = 50mg/kg
 - ORGANIC MATTER CONTENT 3 TO 5% w/w
 - TOTAL NITROGEN CONTENT = 800mg/kg
 - SATURATED HYDRAULIC CONDUCTIVITY = 180mm/hr
3. THE FILTER MEDIA SHALL BE WELL GRADED AND GENERALLY BE A LOAMY SAND AND BE FREE OF CONTAMINANTS SUCH AS RUBBISH, DELETERIOUS MATERIAL, TOXICANTS, DECLARED PLANTS AND WEEDS AND SHOULD NOT BE HYDROPHOBIC.
4. THE COURSE SAND TRANSITION LAYER SHALL BE OF A CLEAN WELL GRADED SAND/COARSE SAND MATERIAL CONTAINING LITTLE OR NO FINES.
5. THE DRAINAGE LAYER SHALL BE OF A CLEAN FINE GRAVEL CONSISTING OF 5 TO 7mm WASHED SCREENINGS.
6. REFER TO COUNCIL'S LANDSCAPE DESIGN GUIDELINES FOR TOPSOIL, MULCH AND PLANTING SPECIFICATIONS.


SUBSOIL FLUSHING POINT DETAIL



SUBSOIL FLUSHING POINT DETAIL

0 0.5 1 2
SCALE METRES 1:20 @ A1

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267 VICTORIA STREET
TAREE NSW 2430

DRAWING TITLE:
CIVIL SERVICES
RAINGARDEN TYPICAL SECTIONS
AND DETAILS

DRAWING STATUS	DA APPROVAL
	NOT TO BE USED FOR CONSTRUCTION

SCALE: 1:20					ORIG. SIZE A1	
DRAWN AK	DESIGNED AK	CHECKED PD	APPROVED PD	ENDORSED --	DATE 12.12.24	
PROJECT No. 24263		DRAWING No. C06.02			REV A	

PLOTTED BY:- ARYAN DATE:- 12 December 2024 10 19 AM FILENAME:- O:\PROJECTS\2024\24263 - 267 VICTORIA STREET, TAREE\CAD\TITLE\24263 CIV DA-1A1- 267 VICTORIA ST

NOTES

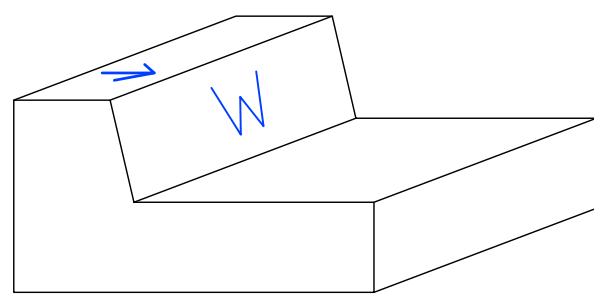
- WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH ALL CONDITIONS SPECIFIED IN THE MCC DEVELOPMENT CONSENT/FORMAL REQUIREMENTS.
- WORKS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE DESIGN DRAWINGS, CONSTRUCTION SPECIFICATION, WSA-03 EDITION PART 2 - CONSTRUCTION AND WSA 03 EDITION STANDARDS DRAWINGS
- CLEARANCES TO OTHER PIPES TO BE CALCULATED FROM COLLARS - REFER WSA-03 EDITION PART 2 - TABLE 5.5.
- ALL PRODUCTS AND MATERIALS TO BE SELECTED FROM THE WSAA & MCC APPROVED PRODUCTS AND MATERIALS REGISTER
- HYDRANTS, STOP VALVES AND ALL OTHER FITTINGS TO BE THE SAME SIZE AS THE THROUGH WATER MAIN
- HYDRANTS MUST NOT BE POSITIONED IN DRIVEWAYS OR TAPPING POINTS
 - HYDRANTS NOMINALLY AT LEAST 5M FROM EACH BOUNDARY OR ON BOUNDARIES
 - FIX BLUE RETRO-REFLECTIVE PAVEMENT MARKER TO ROAD SURFACE ON HYDRANT SIDE OF ROAD CENTRE LINE MARKING WITH HIGH STRENGTH IMPACT EPOXY ADHESIVE OR BITUMINOUS PAD (FLEXIBLE PAVEMENT)
- ALL PIPES AND FITTINGS TO BE AT WSA-03 PREFERRED MINIMUM COVER (WAT-1201-V): - FOOTWAYS - 0.6M TYPE B EMBEDMENT WAT-1202-V - ROADWAYS - 0.75M TYPE B EMBEDMENT-WAT-1202-V TYPE L EMBEDMENT, ENCASEMENT TYPE K EMBEDMENT - WAT-1204-V
- CUL-DE-SAC CURVES:
 - A) DO NOT LAY MAIN UNDER THE KERB.
 - B) LAY WATERMAIN WHOLLY WITHIN WATER ALLOCATION.
 - C) USE BENDS AS REQUIRED TO SUIT THE TRENCH - MINIMUM LENGTH OF SHORT PIPE BETWEEN JOINTS TO BE HALF A FULL PIPE LENGTH.
 - D) ENSURE THAT ALL BENDS ARE PROPERLY SUPPORTED WITH THRUST BLOCKS.
- TESTING OF WATERMAINS, INCLUDING SWABBING, FLUSHING, WATER QUALITY TESTING, PRESSURE AND CHLORINATION SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH WSA-03 EDITION 2 AND MCC SPECIFIC REQUIREMENTS. ALL TESTING TO BE CARRIED OUT UNDER DIRECT SUPERVISION OF THE DESIGN CONSULTANT OR MCC REPRESENTATIVE AS PER MCC REQUIREMENTS. A MINIMUM 14 DAYS NOTICE PRIOR TO TESTING BEING UNDERTAKEN IS REQUIRED. CONNECTION TO, OR OPERATION OF ANY EXISTING VALVES CANNOT BE UNDERTAKEN UNTIL THE DESIGN CONSULTANT OR MCC REPRESENTATIVE HAS PASSED AND VALIDATED ALL TESTS MENTIONED ABOVE AND GIVEN WRITTEN APPROVAL TO THE CONTRACTOR TO PROCEED WITH CONNECTION. NOTE. MCC REPRESENTATIVES ONLY TO OPERATE SYSTEM VALVES.
- WHERE WATERMAIN LAID AT GRADES IN EXCESS OF 5% REFER TO WSA03-2011-3.1 PART 1 SECTION 7.10 - BULKHEADS AND TRENCHSTOPS.

SERVICE PRESSURE (ALL PROPERTIES) = STANDARD (20m-60m)
SYSTEM TEST PRESSURE (STP) = 1000kPa (100m)

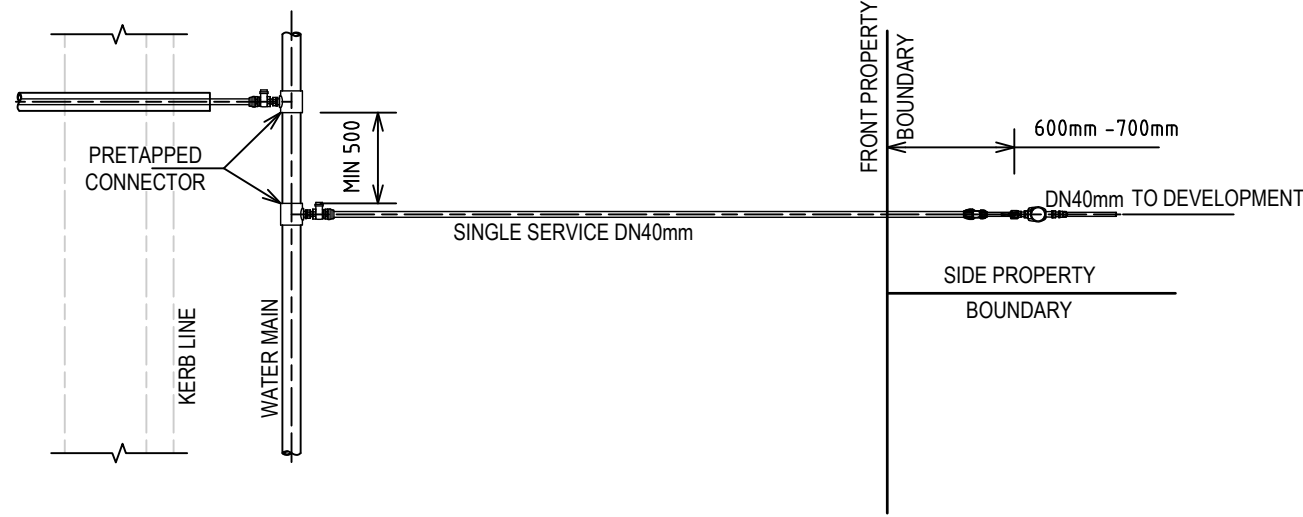
PRIVATE PLUMBER TO RECONNECT EXISTING HOUSE WATER AT NO COST TO MCC. NOTE, ALL WATER IS TO BE CONTAINED WITHIN THE LOT THAT IT IS SERVICING.

THE PLUMBER IS REQUIRED TO MAKE A DRILLING APPLICATION WITH MIDCOAST CITY COUNCIL & PAY THE NECESSARY APPLICATION AND DRILLING FEES. ALL APPLICATIONS ARE TO BE MADE AND FEES PAID PRIOR TO COMMENCING THE WORKS.

- WATER SERVICE CONNECTION TO BE CONSTRUCTED
- TOTAL 1 CONNECTIONS
- SINGLE SERVICES IN ACCORDANCE WITH WAT-1106-V.
 - 1 X SHORT SIDE
 - 0 X LONG SIDE
 - SPLIT SERVICES IN ACCORDANCE WITH WAT-1107-V.
 - 0 SHORT SIDE
 - 0 LONG SIDE



KERB MARKING
FOR MORE DETAIL REFER TO WAT-1106 AND 1107
NOT TO SCALE



TYPICAL WATER SERVICE
FOR MORE DETAIL REFER TO WAT-1106 AND 1107
NOT TO SCALE



ORIGIN OF LEVELS			
PM/SSM/BM No.	PM 13694	RL	9.683 AHD
SCALE 1:100			

---10 STAR BUILDING ASSESSMENTS---

Certificate No. #HR-KKLRXU-01

Assessor name: Adam Clarke

Accreditation No.: ABSA 101518

Property Address: 267 VICTORIA STREET, TAREE NSW 2430

Scan QR code or follow website link for rating details.

http://www.nhero-software.com.au/pdf/HR-KKLRXU-01

NOTES

- WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH ALL CONDITIONS SPECIFIED IN THE MCC DEVELOPMENT CONSENT/FORMAL REQUIREMENTS.
- WORKS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE DESIGN DRAWINGS, CONSTRUCTION NOTES, WSA 03 EDITION PART 2 - CONSTRUCTION AND WSA 02 EDITION STANDARDS DRAWINGS.
- CLEARANCES TO OTHER PIPES TO BE CALCULATED FROM COLLAR - REFER WSA-02 EDITION PART 2 - TABLE 5.4.
- KERB LEVEL SHOWN ON THE SECTION IS ADJACENT TO THE ROUTE OF THE PROPOSED SEWER.
- ALL PRODUCTS AND MATERIALS TO BE SELECTED FROM THE WSAA AND MCC APPROVED PRODUCTS AND MATERIALS REGISTER.
- ALL PROPERTY CONNECTIONS TO BE LOCATED 1.0m FROM THE DOWNSTREAM BOUNDARY UNLESS OTHERWISE INDICATED. ALL CONNECTIONS TO BE BURIED INTERFACE METHOD IN ACCORDANCE WITH SEW-1105 AND SEW-1107 WITH:
 - VERTICAL RISER WHERE SEWER DEPTH >15m.
 - MARKER TAPE (NON-DETECTABLE) LAID RAISED TO THE SURFACE AT EACH JUNCTION.
- LAY PIPE IN ACCORDANCE WITH SUPPORT TYPE AS SHOWN ON SEW-1251-H STANDARD TRENCH DETAILS.
- CONSTRUCT ALL MAINTENANCE STRUCTURES IN ACCORDANCE WITH:
 - ALL RELEVANT SEW-1300-V SERIES DRAWINGS
- FOR SETOUT OF ALL WORKS, OFFSET DIMENSIONS ARE TO TAKE PRECEDENT OVER SURVEY COORDINATES.
- IN THE VICINITY OF THE PROPOSED SEWERMAIN, FILL IS TO BE PLACED PRIOR TO THE LAYING OF THE PIPE. IT IS TO BE PLACED IN LAYERS NOT EXCEEDING 200mm THICKNESS AND THE COMPACTION OF EACH LAYER TO NOT BE LESS THAN 95% OF ITS STANDARD MAXIMUM DRY DENSITY.

NOTES

- # CONSTRUCT CONNECTION IN ACCORDANCE WITH STANDARD DRAWINGS SEW-1107-V AND SEW-1109
- x - LAY PROPERTY CONNECTION SEWER AT 1.67%
- MAINTENANCE CHAMBERS AND TERMINAL MAINTENANCE SHAFT TO BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DRAWINGS SEW-1315, SEW-1317, SEW-1314-V & SEW1316-V
- MAINTENANCE STRUCTURES WITHIN BATTERS- BATTER TO BE MODIFIED TO FACILITATE INSTALLATION OF MAINTENANCE STRUCTURE LID AND SURROUND IN ACCORDANCE WITH STANDARD DRAWING SEW-1308-V
- THE CONTRACTOR IS RESPONSIBLE FOR MANAGING SEWER FLOW DURING THE WORKS TO ENSURE THERE ARE NO SYSTEM SURCHARGES OR ANY UNNECESSARY SERVICE INTERRUPTIONS TO EXISTING CUSTOMERS. THE CONTRACTOR IS REQUIRED TO ADVISE THE SUPERINTENDENT'S REPRESENTATIVE PRIOR TO ANY INTERRUPTIONS TO EXISTING CUSTOMERS. IF NECESSARY THE CONTRACTOR MAY BE REQUIRED TO PROVIDE A TEMPORARY BY-PASS SEWER SYSTEM. THE SUPERINTENDENT'S REPRESENTATIVE MUST APPROVE ANY TEMPORARY BY-PASS SEWER SYSTEM.
- UNDRAINABLE AREA - CONNECTION IN THESE AREAS MAY REQUIRE THE PLACEMENT OF FILL OR RAISING OF FLOOR LEVELS.

PRIVATE PLUMBER TO RECONNECT EXISTING HOUSE DRAINAGE AT NO COST TO MCC. NOTE, ALL DRAINAGE IS TO BE CONTAINED WITHIN THE LOT THAT IT IS SERVING.

LOT	PROPERTY CONNECTION IL	RISER HEIGHT	FINISHED SURFACE LEVEL	SEWER INVERT LEVEL	CONNECTION DEPTH
1	8.27	N/A	10.04	8.27	1.77



PLOT BY: ARYAN DATE: 12 December 2024 10 19 AM		FILENAME: O:\PROJECTS\2024\24263 - 267 VICTORIA STREET, TAREE\CAD\TITLE\24263_CIV_DA\A- 267 VICTORIA ST		ARCHITECT: collinswcollins		CLIENT: CAMERON & AMANDA TATE cmatae@jhtaree.com.au 0437 877 719		PROJECT: CIVIL WORKS for LOT 19, DP 3259 267 VICTORIA STREET TAREE NSW 2430		DRAWING TITLE: CIVIL SERVICES SEWER PLAN		DRAWING STATUS: DA APPROVAL NOT TO BE USED FOR CONSTRUCTION	
SCALE: 1:100		ORIG. SIZE: A1		DRAWN: AK		DESIGNED: AK		CHECKED: PD		APPROVED: PD		ENDORSED: --	
PROJECT No: 24263		DRAWING No: C07.02		DATE: 12.12.24		REV: A							



NORTH EAST ELEVATION

1 : 100



SOUTH WEST ELEVATION

1 : 100



10 STAR BUILDING ASSESSMENTS

Certificate No. #HR-KKLRXU-01

Scan QR code or follow website link for rating details.

Assessor name: Adam Clarke

Accreditation No.: ABSA 101518

Property Address: 267 VICTORIA STREET, TAREE, NSW, 2430

http://www.ncep-esthate.com.au/pdf/HR-KKLRXU-01

ABSA

Building Assessment

Assessment Report: 03/06/2024-03/06/2025

Assessor Name: Adam Clarke

Assessment Number: 101518

Assessment Signature: [Signature]

BUSHFIRE NOTES:

LOT NOT AFFECTED

BAL - N/A

BASIX/NATHERS NOTES:

PLEASE REFER TO THE "SUMMARY OF BASIX/natHERS COMMITMENTS" ON PAGE 3 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

GENERAL PLAN SET NOTES:

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PROJECT: MULTI UNIT DEVELOPMENT (STRATA)

STATUS: DA ISSUE

LOT No: 19/14

DP No: 3259

STREET: 267 VICTORIA STREET, TAREE

CLIENT: TATE

ELEVATIONS

SCALE: 1 : 100

START DATE: 29.11.22

DWG No: A5455

SHEET: 10 OF 19

SHEET SIZE: A1

DRAWING REVISIONS + NOTES

Date	Description	Issue	Drawn
30.11.22	INITIAL ISSUE	A	AE
07.08.24	REV B	B	AE
18.11.24	DA ISSUE	C	AE
14.03.25	DA ISSUE	D	AE
29.01.25	ENERGY ADDED	E	AE
11.02.25	RFI MCC	F	AE

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AREAS - ROOF AREAS		
Name	Area	
U1 ROOF AREA	65.2 m ²	
U2 ROOF AREA	70.2 m ²	
U3 ROOF AREA	70.2 m ²	
U4 ROOF AREA	70.2 m ²	
U5 ROOF AREA	70.2 m ²	
U6 ROOF AREA	70.2 m ²	
U7 ROOF AREA	70.2 m ²	
U8 ROOF AREA	76.8 m ²	
TOTAL	563.8 m ²	



ROOF PLAN

1 : 100

Certificate No. #HR-KKLRXU-01

Assessor name: Adam Clarke


Accreditation No.: ABSA 101518

Property Address: 267 VICTORIA STREET, TAREE, NSW 2430

<http://www.help-software.com.au/gdpr/HR-KKLRXU-01>

BUSHFIRE NOTES:		BASIX/NATHERS NOTES:		GENERAL PLAN SET NOTES:	
LOT NOT AFFECTED		PLEASE REFER TO THE "SUMMARY OF BASIX/NATHERS COMMITMENTS" ON PAGE 3 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS		CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS	
BAL - N/A					







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	STATUS: DA ISSUE		SHEET: 13 OF 19		SCALE: 1 : 100		A1		Date:	Description:	Issue:	Drawn:	
	LOT No: 19/14 DP No: 3259				START DATE: 29.11.22				30.11.22	INITIAL ISSUE	A	AE	
	STREET: 267 VICTORIA STREET, TAREE		DWG No: A5455		07.08.24	REV B			B	AE			
	CLIENT: TATE		T: 02 6583 4411		18.11.24	DA ISSUE			C	AE			
					14.01.25	DA ISSUE	D	AE					
					29.01.25	ENERGY ADDED	E	AE					
					11.02.25	RFI MCC	F	AE					
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Plant Schedule			
code	botanical name	common name	mature height
trees			
Hfl	Hymenosporum flavum	Native Frangipani	9m
Lis	Lagerstroemia indica 'Sixou'	Crepe Myrtle	4m
	Lagerstroemia indica 'Tuscarora'	Crepe Myrtle	6m
Mlg	Magnolia 'Little Gem'	Little Gem	3m
Mli	Melaleuca linariifolia	Snow in Summer	8m
Til	Tristanopsis laurina 'Luscious'	Water Gum	10m
shrubs			
Rop	Raphiolepis 'Oriental Pearl'	Indian Hawthorne	1.0m
Sbb	Syzygium australe 'Baby Boomer'	Lillypillip 'Baby Boomer'	1.0m
Sre	Syzygium 'Resilience'	Resilience Lilly Pillip	3.0m
Wsm	Westringia 'Smokey'	Native Rosemary	1.0m
grasses and groundcovers			
Ino	Isolepis nodosa	Knobby Club Rush	0.6m
Ljr	Liriope 'Just Right'	Turf Lily	0.5m
Lm	Lomandra longifolia 'Tanika'	Mart Grass	0.6m
Myp	Myoporum parvifolium	Creeping Boobiala	0.1m
Pki	Poa 'Kingsdale'	Tussock Grass	0.4m
Ppl	Pennisetum 'Purple Lea'	Purple Lea	0.8m

Legend


-  Proposed trees
-  Turf
-  Paving
-  Metal garden edge
Formboss Galvanised Metal Edge
-  Garden bed
Mulch - ANL Forest Blend
-  Hose tap

Refer to architectural drawings for fence details





---10 STAR BUILDING ASSESSMENTS---




Assessor name
Adele Clarke


Accreditation No.
ABSA 101518

Property Address
257 VICTORIA STREET,
Taree, NSW 2439

Certificate No. #HR-KKLRXU-01

Scan QR code or follow website link for rating details.






Assessment Date: 03/05/2024-03/06/2024

Assessor Name: Adele Clarke

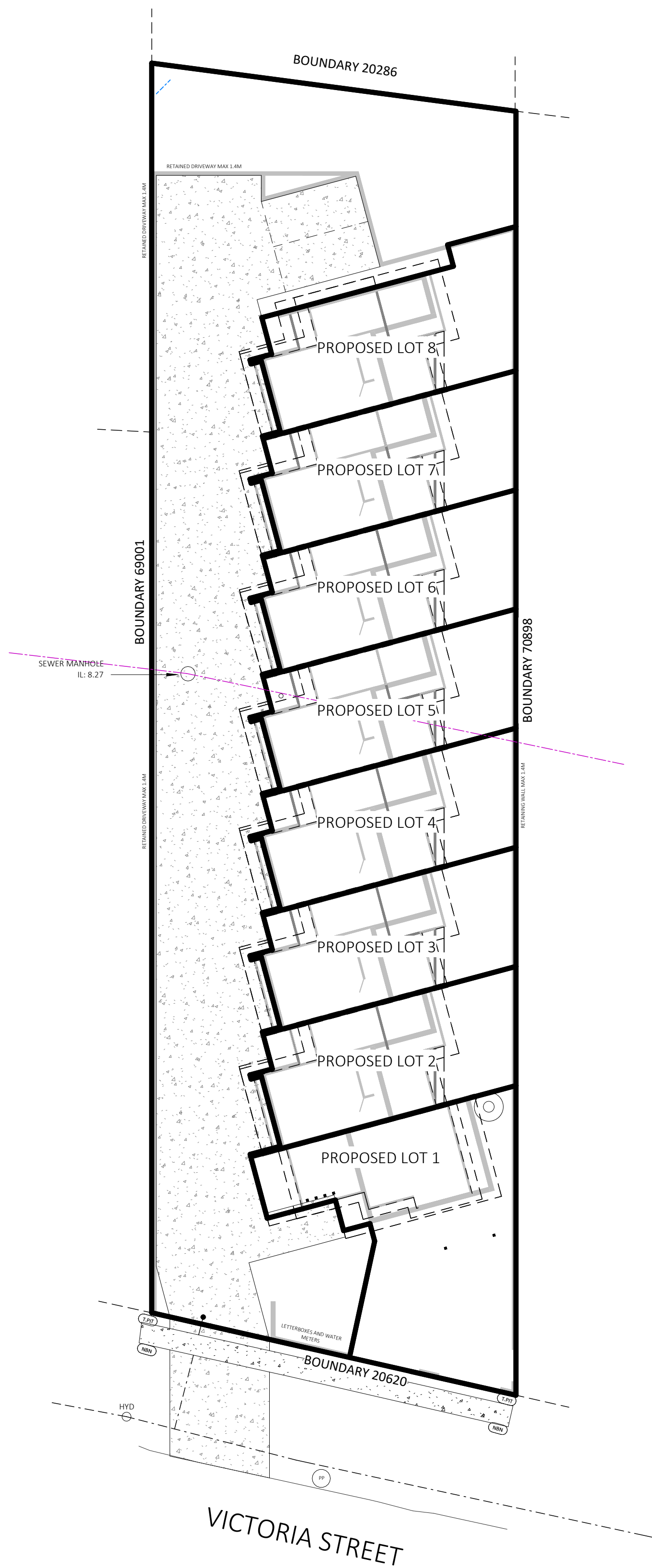
Assessment Number: 101518

Inspector Signature:



<http://www.hero-software.com.au/pdf/HR-KKLRXU-01>

EXISTING LOT SCHEDULE		PROPOSED LOT SCHEDULE	
Name	Area	Name	Area
PARENT LOT	1406.77 m ²	PROPOSED LOT 8	95.98 m ²
TOTAL: 1	1406.77 m ²	PROPOSED LOT 7	89.77 m ²
		PROPOSED LOT 6	89.77 m ²
		PROPOSED LOT 5	89.77 m ²
		PROPOSED LOT 4	89.77 m ²
		PROPOSED LOT 3	89.77 m ²
		PROPOSED LOT 2	89.86 m ²
		PROPOSED LOT 1	149.97 m ²
		PROPOSED LOT COMMON	622.12 m ²
		TOTAL: 9	1406.77 m ²



DRAFT SUBDIVISION PLAN

1:200



---10 STAR BUILDING ASSESSMENTS---



Certificate No. #HR-KKLRXU-01

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Assessor name: Adam Clarke

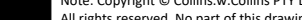
Accreditation No: ABSA 101518

Property Address: 267 VICTORIA STREET,
Taree, NSW, 2430



<http://www.hero-software.com.au/pdf/HR-KKLRXU-01>

<p>BUSHFIRE NOTES: LOT NOT AFFECTED</p>	<p>BASIX/NATHERS NOTES: PLEASE REFER TO THE "SUMMARY OF BASIX/NATHERS COMMITMENTS" ON PAGE 3 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS</p>	<p>GENERAL PLAN SET NOTES: CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS</p>
<p>BAL - N/A</p>		



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PROJECT: MULTI UNIT DEVELOPMENT (STRATA)

STATUS: DA ISSUE

LOT No: 19/14 **DP No: 3259**

STREET: 267 VICTORIA STREET, TAREE

CLIENT: TATE

SHEET: 15 **OF 19**

DRAFT SUBDIVISION PLAN - STRATA

SCALE: 1 : 200

START DATE: 29.11.22

DWG No: A5455

SHEET SIZE:

A1

DRAWING REVISIONS + NOTES

Date:	Description:	Issue:	Drawn:
30.11.22	INITIAL ISSUE	A	AE
07.08.24	REV B	B	AE
18.12.24	DA ISSUE	C	AE
14.01.25	DA ISSUSE	D	AE
29.01.25	ENERGY ADDED	E	AE
11.02.25	RFI MCC	F	AE

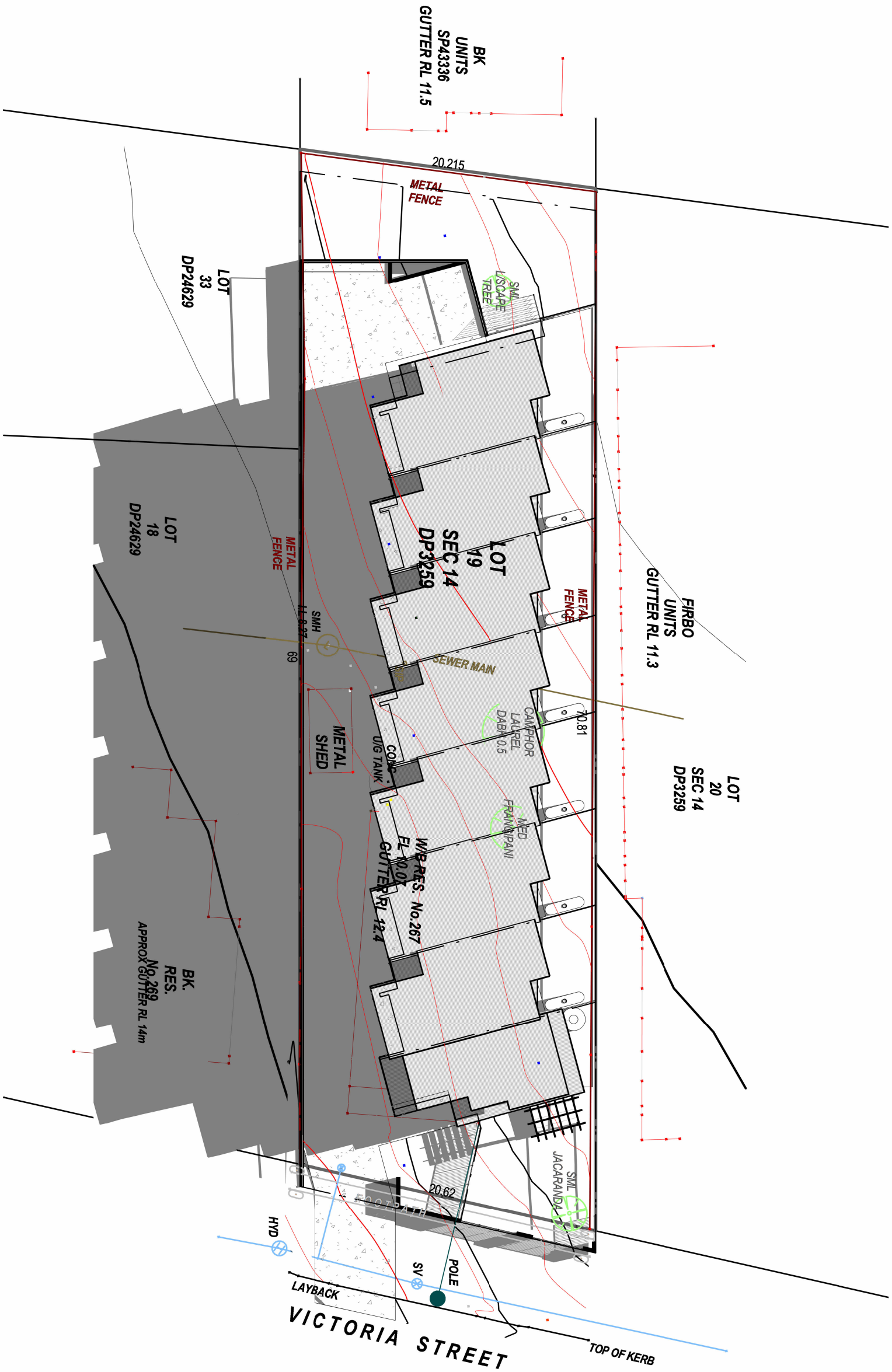
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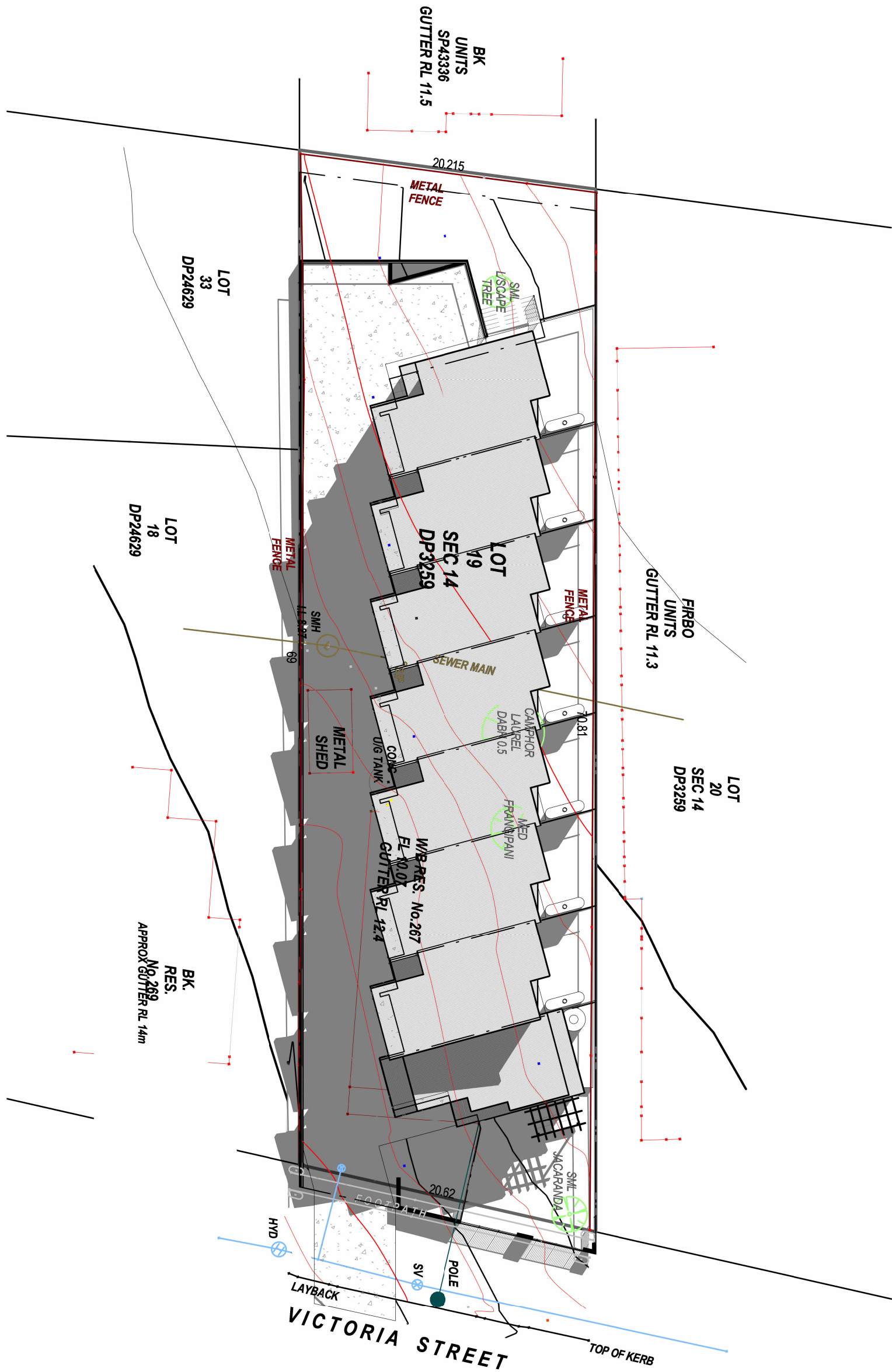
9AM SHADOW

1 : 300



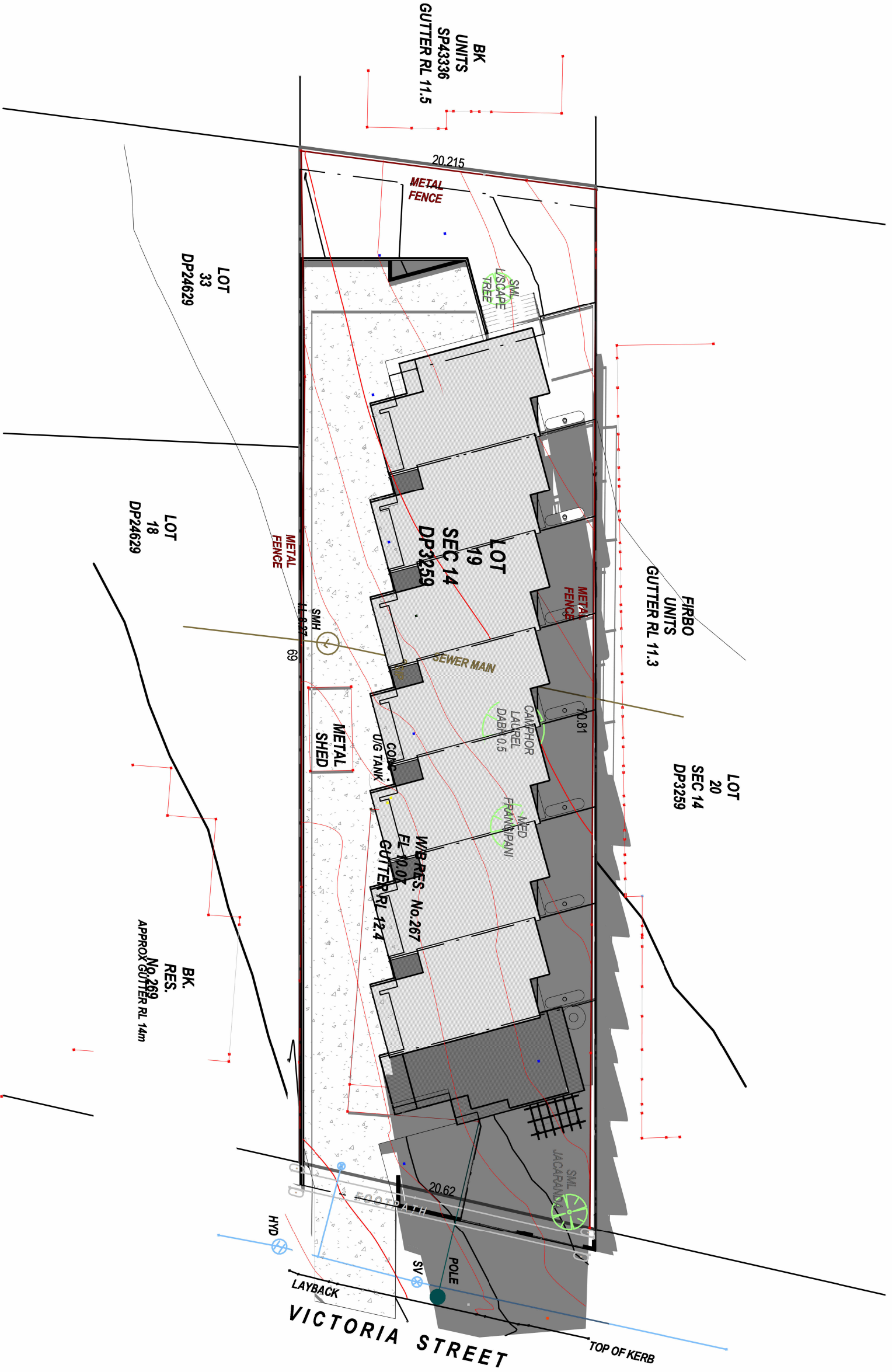
12PM SHADOW

1 : 300



3PM SHADOW

1 : 300



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Assessor Name: Adam Clarke
Accreditation No.: ABSA 101518
Property Address: 267 VICTORIA STREET, TAREE, NSW, 2430

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BUSHFIRE NOTES: LOT NOT AFFECTED		BASIX/NATHERS NOTES: PLEASE REFER TO THE "SUMMARY OF BASIX/NATHERS COMMITMENTS" ON PAGE 3 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS		GENERAL PLAN SET NOTES: CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS	
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PROJECT: MULTI UNIT DEVELOPMENT (STRATA)	
STATUS: DA ISSUE	LOT No: 19/14 DP No: 3259
LOT No: 19/14	STREET: 267 VICTORIA STREET, TAREE
CLIENT: TATE	

SHADOWS	SCALE: 1 : 300
START DATE: 29.11.22	DWG No: A5455

SHEET SIZE: A1	DATE: 30.11.22
DESCRIPTION: INITIAL ISSUE	REVISION: REV B
DATE: 18.11.24	DATE: 14.01.25
ENERGY ADDED	REVISION: REI MCC

DRAWING REVISIONS + NOTES		Issue:	Drawn:
Date:	Description:	A	AE
30.11.22	INITIAL ISSUE	B	AE
07.08.24	REV B	C	AE
18.11.24	DA ISSUE	D	AE
14.01.25	DA ISSUE	E	AE
29.01.25	ENERGY ADDED	F	AE
11.02.25	REI MCC		

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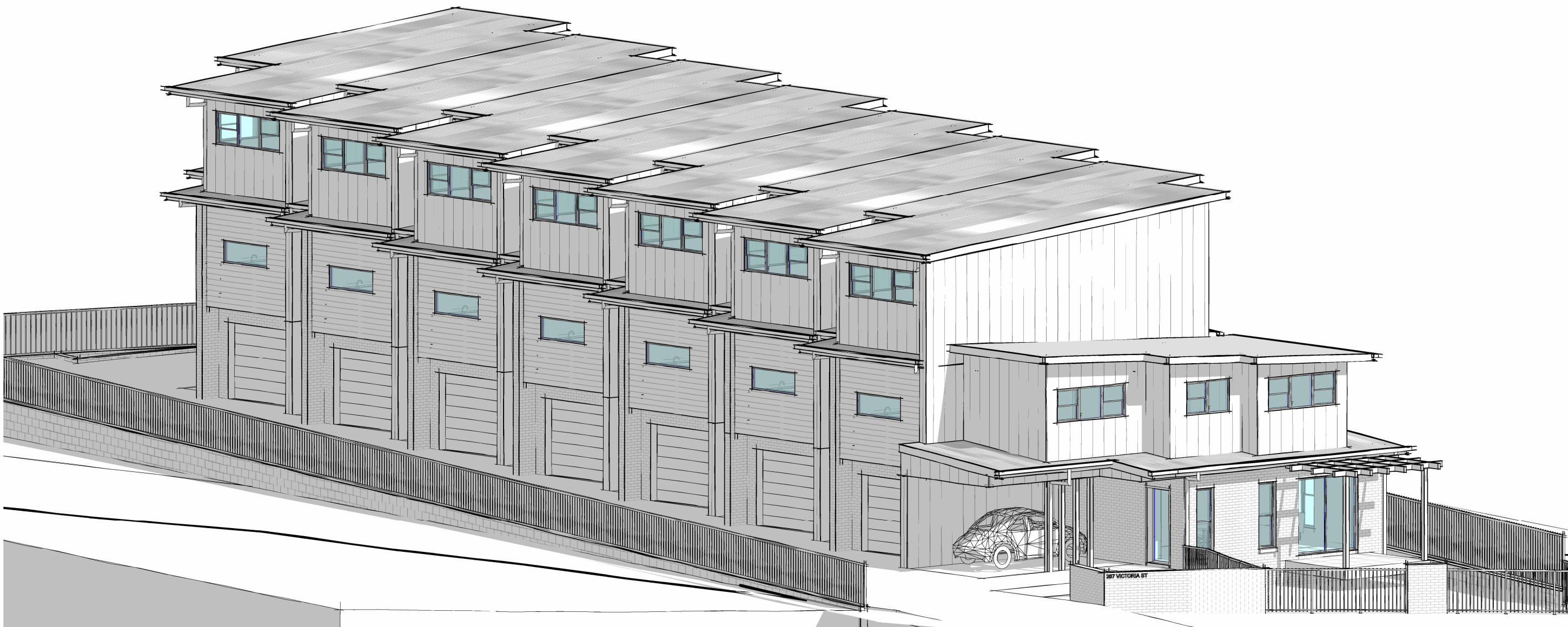
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3D View 1



3D View 2



3D View 3


BUSHFIRE NOTES:
LOT NOT AFFECTED

BASIX/NATHERS NOTES:
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GENERAL PLAN SET NOTES:
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			STATUS: DA ISSUE		SHEET: 17 OF 19	SCALE:	START DATE: 29.11.22		Date:		Initial ISSUE		Issue: A	Drawn: AE
			LOT No: 19/14 DP No: 3259						07.08.24		REV B		B	AE
			STREET: 267 VICTORIA STREET, TAREE						18.11.24		DA ISSUE		C	AE
									14.01.25		DA ISSUE		D	AE
		CLIENT: TATE	DWG No: A5455	29.01.25	ENERGY ADDED		E	AE						
					11.02.25		RFI MCC		F	AE				
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